



CITY OF BALLARAT
**Neighbourhood
Character Study
August 2024**





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The City of Ballarat acknowledges the Traditional Custodians of the land we live and work on, the Wadawurrung and Dja Dja Wurrung People and recognises their continuing connection to the land and waterways.

We pay our respects to their Elders past, present and extend this to all Aboriginal and Torres Strait Islander People.

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Glossary of Terms

Term	Definition
Activity Centres	Retail, service and employment hubs that are usually well serviced by public transport. They range in size from local neighbourhood strip shops to major regional shopping malls and centres.
Articulation	The finer details which provide additional visual interest and reinforce the intentions of the 'Architectural Form'.
Ballarat Planning Scheme	The Ballarat Planning Scheme sets out objectives, policies and provisions relating to the use, development, protection and conservation of land in the area to which it applies. It regulates the use and development of land through planning provisions to achieve those objectives and policies.
Building	Definition from Section 3 of the Planning and Environment Act 1987. A building includes: <ul style="list-style-type: none"> • a structure and part of a building or a structure. • fences, walls, out-buildings, service installations and other appurtenances of a building.
Building Scale	The size of a building relative to the buildings or elements around it.
Character Area	Areas with a common preferred character.
Character Type	Broad areas, where the desired character is the same. In these areas, the existing neighbourhood character and era of residential development are usually similar.
Contemporary Architecture	Contemporary architecture essentially refers to the current style of architecture. For example, a house built this year according to current trends would be considered contemporary architecture.
Contemporary Infill Development	A new development within a streetscape of older buildings.
Court	A development pattern characterised by streets with multiple curves, typical of many modern subdivision.
Curvilinear Street Network	A development pattern characterised by streets with multiple curves.
Dwelling	Definition from Clause 73.03 of the Ballarat Planning Scheme. A building or part of a building used as a self-contained residence, which must include: <ul style="list-style-type: none"> • a kitchen sink • food preparation facilities • a bath or shower • a closet pan and wash basin It includes out-buildings and works normal to a dwelling.

Term	Definition
Gridded Street Network	Refers to a uniform and rigid pattern of streets that follows a predictable and orthogonal layout.
Gable Roof	A roof that connects to the wall of the building with a vertical end.
Hipped Roof	A roof that connects to the wall of the building with an angled end.
Inter-war Architecture (1918 - 1939)	Inter-war period saw the emergence of the Art Deco, Functionalist, Mediterranean, Spanish Mission, Californian Bungalow, Old-English and Inter-war Queenslander architectural styles. Single storey detached houses and simple building forms with limited embellishment were common during this period, as well as large setbacks on large blocks.
Kerb and channel	Refers to a gutter which forms a barrier between the road pavement and the nature strip and directs stormwater into stormwater drains to protect the edge of the road from erosion. A gutter is generally constructed of concrete or bluestone.
Modern Architecture	Emerging in the first half of the 20th century. Modern architecture is a style of building that emphasises function and a streamlined form over ornamentation. This design aesthetic is a departure from more elaborate and decorated homes like Queen Anne, Victorian, or Gothic Revival styles. Modern architecture usually involves sharp, clean lines. Common modern architectural features include flat roofs, walls made of rectilinear geometric shapes and floor-to-ceiling windows.
Modified-grid street network	Refers to a modified version of the typical, uniform grid and features an interconnected pattern of streets that follows a predictable, roughly orthogonal layout.
Muted Colour Palette	Palette of earthen and bush tones, particularly various greens, darker browns and greys which complement the vegetated landscape setting.
Neighbourhood Character	The interplay between development, vegetation and topography in the public and private domains that distinguishes one residential area from another.
Neutral Colour Palette	Palette of natural tones, particularly lighter browns, greys, blues and creams which complement the coastal setting.
Orientation	Refers to how a building is positioned in relation to the sun's paths in different seasons, as well as to prevailing wind patterns. As the path of the sun in Australia is to the north, orientation is usually about whether the living areas of a dwelling are north facing.
Open Swale	An open channel that collects water from hard surfaces and allows it to percolate into the ground, reducing the amount of runoff leaving the road or property.
Overlays	Planning scheme controls that apply to specific areas to address a particular issue such as environmental, landscape, heritage and flooding. These requirements operate in addition to those provided by the land's zoning.
Pitched Roof	A roof that is not flat. Generally, roofs will have an angle of pitch from 20-40°.
Planning Policy Framework (PPF)	Comprises general principles for land use and development in Victoria contained in the planning scheme. It sets visions, objectives, strategies and decision guidelines that must be taken into consideration by local Governments when making a planning decision.

Term	Definition
Post-war Architecture (1945 - 1965)	Although more traditional than those of modern design, post-war houses are usually single storey with interconnected living rooms - a move towards open planning. Post-war houses are often characterised by the triple fronted brick veneer.
Precinct Profile	Provide a summary of unique character areas with associated character objectives and design guidelines to provide guidance to future development.
Preferred Character Statement	Policy statement that articulates an area's desired future character.
Public Realm	Relates to all exterior places, linkages and built form elements that are physically and/or visually accessible regardless of ownership. These elements include but are not limited to, streets, footpaths, bike paths, vehicle crossovers, nature strips, water fronts, parks, view corridors, landmarks and building interfaces.
Render Finish	Textured concrete that is applied over brickwork to walls or fences.
Semi-detached Dwelling	A dwelling that shares a common wall with another dwelling.
Setbacks	The distance that a building is located from the site boundary. This Study has looked at the pattern of front setbacks and side setbacks within each street, i.e. the distance the buildings are located from the front or side site boundaries respectively.
Solar access	Refers to the availability of sunlight to a property.
Street	A public road in a city, town, or village, typically with building on one or both sides.
Storey	That part of a building between floor levels. If there is no floor above, it is the part between the floor level and ceiling. It may include an attic, basement, built over car parking area, and mezzanine.
Transparent Fencing	Fencing that creates a barrier between the public and private realm without reducing the view to the other side. They are often constructed of wire and post, chain links, or metal bars such as wrought iron.
Views	Relates to views from the public realm to dwellings, between dwellings and vistas across the landscape.
Vehicle Storage	An area on a private property designated for the parking of vehicles. This can include garages, open car port styles and hardstand areas or driveways.

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1.0 Introduction

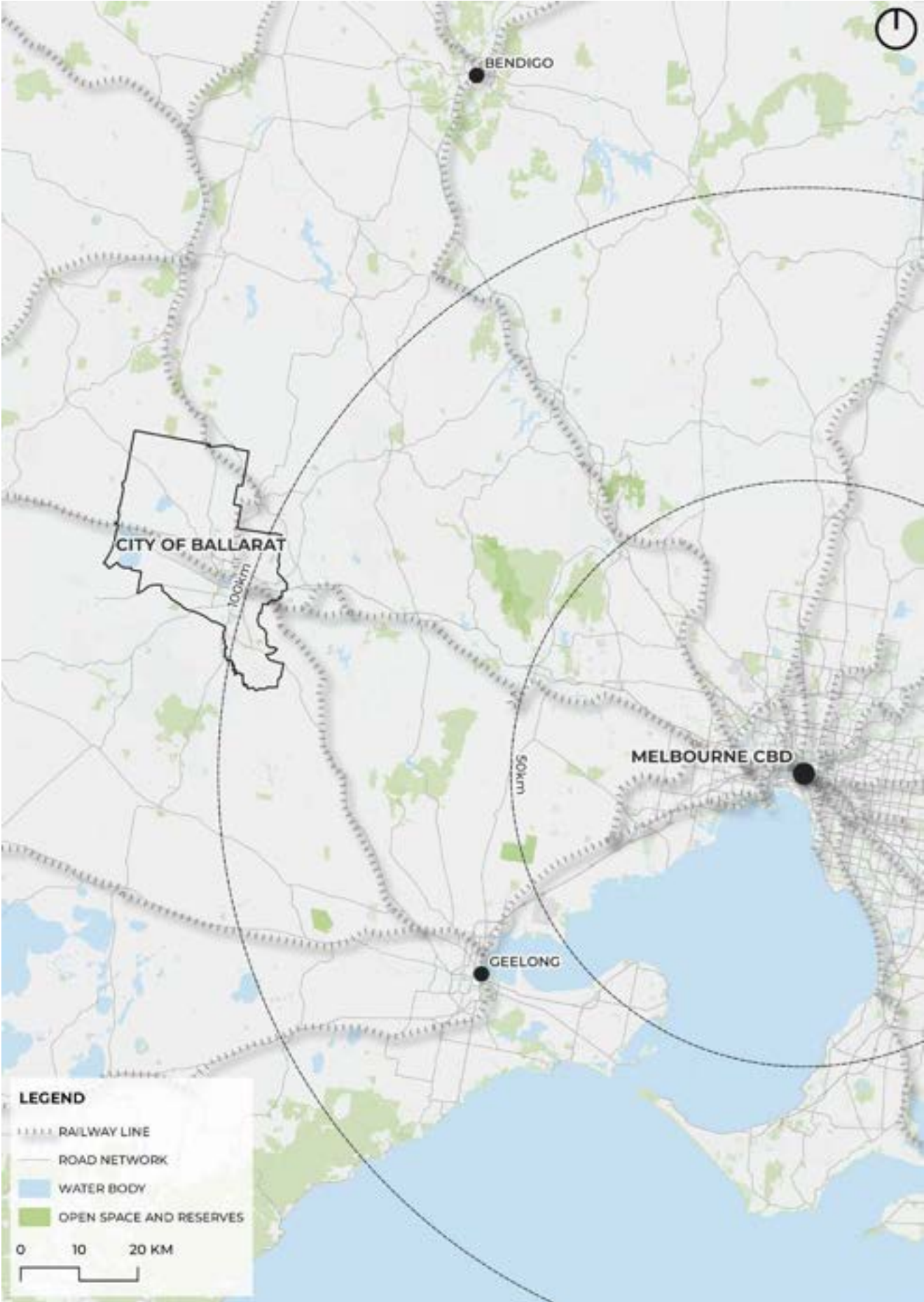
1.1 Overview

The City of Ballarat has a diverse and unique neighbourhood character that is highly valued by its community. Ranging from the historical development located closer to the Ballarat CBD to bush blocks and distinctly rural settlements outside of the central urban area, the character of Ballarat greatly varies.

Accordingly, this updated Ballarat Neighbourhood Character Study has been undertaken to identify the unique values and distinctive attributes within the residential areas of Ballarat.

This Study develops preferred character objectives and design guidelines that will ensure new residential development is responsive to its context and appropriately reflects the identified preferred Neighbourhood Character across the municipality.

Context Map





Project Overview

This updated Study will reflect Ballarat’s existing and preferred neighbourhood character and outline how new development should appropriately respond and contribute to the valued characteristics of the city’s established residential areas.

The objectives of this project are to:

- Undertake an assessment to identify existing character areas across the study area.
- Undertake a review of relevant background material, including relevant policy, VCAT decisions and relevant consultation outcomes.
- Informed by the housing change areas in the Updated Ballarat Housing Strategy, identify the preferred character for each character area.
- Prepare Precinct Profiles for each character area including preferred character statements, character objectives and design guidelines.
- Provide recommendations for implementation into the Ballarat Planning Scheme.

Project Stages

This project will be undertaken over the following stages:

Stage	Task	Date
1	Background Analysis	Late 2019
2	Identify existing Neighbourhood Character	2020
3	Community Consultation – Stage 1	July-September 2020
4	Draft Neighbourhood Character Study	April 2023
5	Community Consultation – Stage 2	2024
6	Updated Draft Neighbourhood Character Study	2024
7	Community Consultation – Stage 3	Mid 2024
8	Final Neighbourhood Character Study	Mid 2024

1.2 Purpose of this Study

This Neighbourhood Character Study provides, for each area, a statement of preferred character, character objectives and design guidelines to guide future development across residential areas of Ballarat.

Recommendations will also be provided for implementation and next steps.

This updated Neighbourhood Character Study includes the following:

- Definition of Neighbourhood Character.
- Outline of methodology.
- Overview of Policy and Statutory Context.
- Overview of existing strategies and background information.
- Summary of community consultation (to date)
- Identification and summary of the key issues and threats to character in Ballarat.
- Proposed Precinct Profiles of each Neighbourhood Character Area, including:
 - Character Area description
 - Key Attributes
 - Preferred Character Statements
 - Character Objectives
 - Character Area Maps
 - Photos
 - Design Guidelines
- Recommendations for statutory and strategic implementation.

Why is this Study being undertaken?

The City of Ballarat recognises that the existing Ballarat Urban Character Study from 1999 is dated. A new study is required to ensure that the preferred neighbourhood character across all of the residentially zoned area in Ballarat can be identified and managed.

Neighbourhood character is highly valued by the community and the retention of the character of residential areas is important to them. The Study seeks to define the unique character of Ballarat neighbourhoods and ensure it is considered as Ballarat grows and develops.

There is currently limited guidance in the Ballarat Planning Scheme about what preferred neighbourhood character is and how development can appropriately respond to its context.

Therefore, it is important that a detailed Neighbourhood Character Study is undertaken so that controls can be developed to facilitate appropriate development outcomes in Ballarat.

The Study carefully considers character boundaries and identifies residential areas that may require further protection. The identified character types and precincts will be used to develop preferred character objectives and design guidelines. Ultimately, a suite of planning controls will give effect to the preferred character statements and associated design guidelines, based on identified future character attributes and housing growth targets (as informed by the Housing Strategy).

The updated Neighbourhood Character Study, Housing Strategy and a future Residential Development Framework will enable the City of Ballarat to meet future housing growth and demographic trends, while still ensuring new development reflects the preferred character of the municipality.

1.3 Study Area

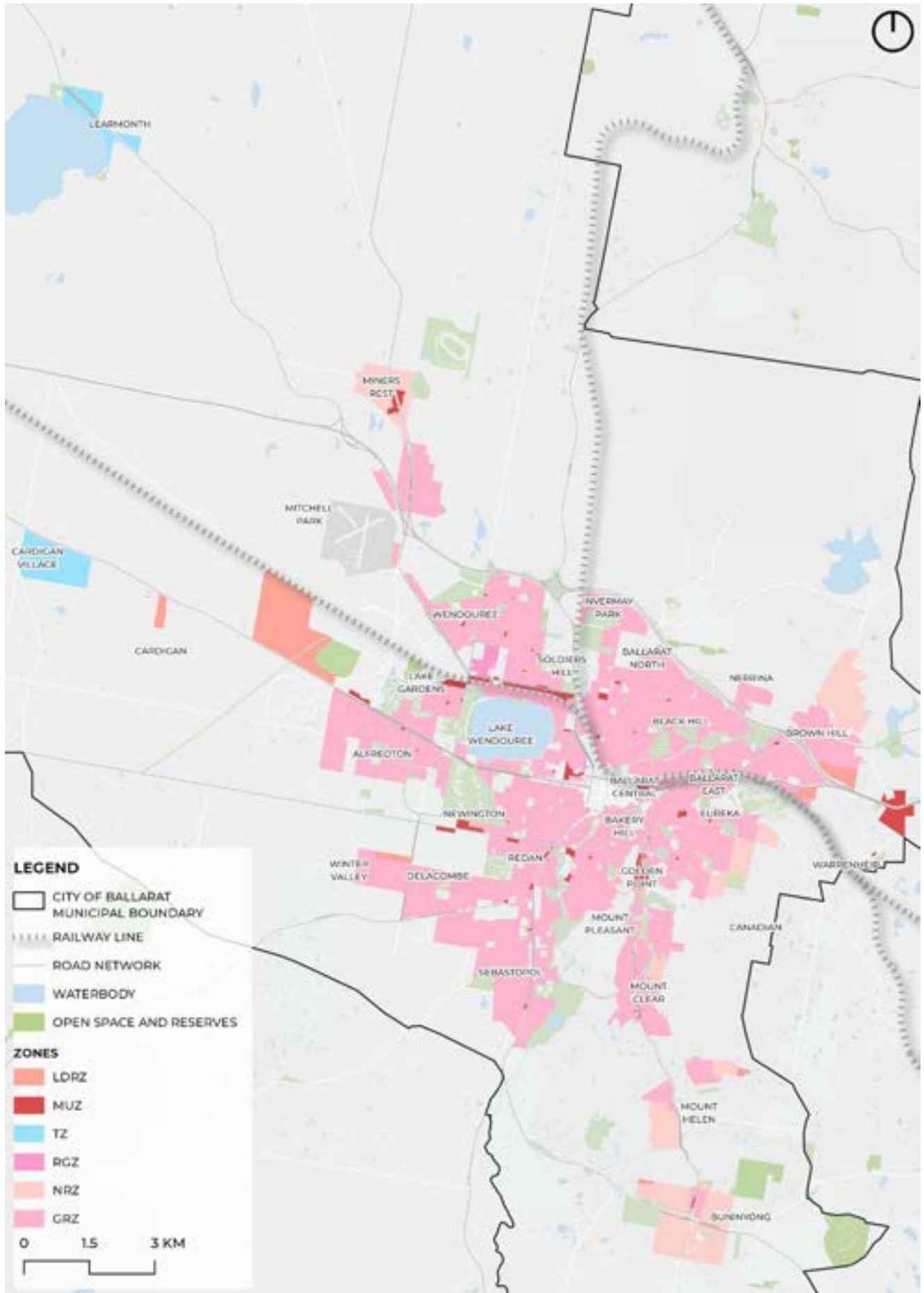
The study area for the Ballarat Neighbourhood Character Study includes the residential areas in the following zones:

- Low Density Residential Zone (LDRZ)
- Mixed Use Zone (MUZ)
- Township Zone (TZ)
- Residential Growth Zone (RGZ)
- Neighbourhood Residential Zone (NRZ)
- General Residential Zone (GRZ)

Localities that are covered by the study area include:

- | | |
|--------------------|------------------|
| • Alfredton | • Little Bendigo |
| • Ballarat East | • Lucas |
| • Ballarat North | • Sebastopol |
| • Ballarat South | • Winter Valley |
| • Black Hill | • Miners Rest |
| • Brown Hill | • Mount Pleasant |
| • Buninyong | • Mount Helen |
| • Canadian | • Mount Clear |
| • Cardigan | • Nerrina |
| • Cardigan Village | • Newington |
| • Delacombe | • Wendouree |
| • Eureka | • Warrenheip |
| • Golden Point | |
| • Invermay Park | |
| • Redan | |
| • Learmonth | |

Study Area Map



Historical Context

Local Indigenous History

For thousands of years, the City of Ballarat has been the Traditional Country of the Wadawurrung and Dja Dja Wurrung People. The Wadawurrung and Dja Dja Wurrung People are a part of the Kulin Nation, which consists of five language groups whose collective territories extend from Port Phillip and Western Port to the Great Dividing Range and the Loddon and Goulburn River Valleys.

The lives of the Wadawurrung and Dja Dja Wurrung peoples were rich in culture and ritual and they remain deeply connected to these landscapes to this day.

Gold Rush

In July 1851, gold was discovered at Clunes, Buninyong and Golden Point. Extensive diggings soon developed in the adjoining areas that are now known as Ballarat East. The area of the diggings can be generally traced from the irregular and curving streets, in contrast to the surveyed township in 1854 west of the river.

Ballarat's gold mines attracted migrants arriving from the ports of Melbourne or Geelong and settled close to the gold deposits. An estimated 6,000 diggers arrived each week seeking their fortune and by the end of 1851, an estimated 10,000 diggers were working in the Ballarat diggings.

Within three years of the discovery of gold, Ballarat had an estimated population of 25,000 people, of which a large proportion were temporary or seasonal workers.

Development Pattern

In the early years Ballarat consisted of two towns The Ballarat West borough and the Ballarat East borough. The Ballarat West borough was an early industrial area whilst Ballarat East was generally used for agriculture. This split is evidenced by remnant buildings. Ballarat West used local clay for bricks, whilst the early buildings of Ballarat East were mostly made of timber and calico and have since been destroyed by flooding or bushfire.

In 1862, the railway reached Ballarat, linking it to the Geelong Port and Ballarat emerged as a major railway hub. The railway station in Ballarat West facilitated more development in the area that is now known as Ballarat Central as shops and commerce moved away from Ballarat East.

Ballarat was established as a major centre for Victoria and a very prosperous colonial city. Grand buildings were constructed for hospitals, churches, schools and government institutions. The layout of Sturt and Lydiard Street with their exceptionally fine buildings had been delivered and in itself was an indicator of the success of Ballarat during the Victorian gold rush period.

By 1871, Ballarat's wider metropolitan area had a population of approximately 50,000 people. Ballarat had become a regional centre and funding was delivered for public works and civic buildings, which led to the construction of Lake Wendouree and the Ballarat Botanical Gardens, the Ballarat Art Gallery, Ballarat Town Hall, and the Royal South Street Memorial Theatre.



Ballarat East, viewed from the School of Mines, 1882
Source: State Library of Victoria

City of Ballarat Snapshot

- The Ballarat CBD is located at the centre of the municipality and operates as a higher order service centre for the City of Ballarat and the surrounding region. The City of Ballarat is served by a railway line that connects Ballarat to Melbourne and Ararat. Various bus routes operate throughout the City of Ballarat to provide public transport connections from its surrounding suburbs to the CBD.
- Immediately surrounding Ballarat CBD is residentially zoned land that accommodates localities such as Ballarat East, Ballarat North and Wendouree. A substantial amount of this area is affected by heritage controls.
- Extending beyond inner Ballarat are localities such as Alfredton, Delacombe, Invermay Park, and Sebastopol that typically include detached dwellings and larger lot sizes whilst still having convenient access to the Ballarat CBD.
- Rural townships such as Buninyong, Cardigan, Mount Clear, Mount Helen and Miners Rest have buffers of the Farming Zone or Public Conservation and Resource Zone that distinctly separate them from the rest of Ballarat.
- Topography is generally flat with some gentle undulating slopes in the south and east of the municipality. The highest area of topography is the Ballarat CBD which enables views of the city skyline from adjacent residential areas. The area surrounding the urban areas of Ballarat include generally flat terrain that provides long range views to the surrounding rural landscape.
- The City of Ballarat contains extensive open space networks, particularly on the outskirts of the urban areas. Key areas of open space include Lake Wendouree, the Worwookarung Regional Park and the Glen Park State Forest which directly interface with residential land.

Ballarat Snapshot	
118,137	Estimated residents in 2023
+10,004	Population increase between 2016 and 2021
+13,089	Additional dwellings forecast to be required by 2036 (or 873 per annum)
110km	North-west of Melbourne CBD

Source: Informed Decisions 2024



1.4 What is Neighbourhood Character?

The definition of neighbourhood character is drawn from Planning Practice Note 43 Understanding Neighbourhood Character and has been adapted to reflect the local context of the City of Ballarat.

Neighbourhood character in Ballarat

Neighbourhood character is what visually differentiates a neighbourhood from another, and is the measure of a local identity. It encompasses the way a neighbourhood looks and feels. It is created by a combination of landscape, vegetation, the built environment, history and culture, and how they interact.

Local character is distinctive. It influences the sense of belonging a person feels to that place, the way people respond to ambience, how it influences their mood, their emotional response, and the stories that come out of their relationship with that place.

Neighbourhood character contains many different facets. It is important to understand character in a holistic way, which involves examining the relationship between people and the social, environmental and economic characteristics of place. Local character should guide how to manage a changing urban environment so that any changes are sympathetic to the valued characteristics and ultimately shape a preferred character for an area in the future.

Neighbourhood character is underpinned by the following core concepts:

- Character is a combination of the public and private realms and how they relate to one another.
- Every property, public place or piece of infrastructure makes a contribution, whether great or small.
- It is the cumulative impact of all these contributions that establishes neighbourhood character.
- The key to understanding character is being able to describe how the features of an area come together to give that area its own particular character.
- All areas have a character in the same way that all people have a personality. In some areas the character may be more obvious, more unusual, or more attractive, but no area can be described as having no character.
- The understanding of the key components of neighbourhood character ultimately informs the definition of statements of preferred character for the future.

The attributes that contribute to the neighbourhood character in Ballarat include:

- Landscape character and setting
- Public realm and streetscape
- Architectural style

- Dwelling typology
- Building height and scale
- Building orientation and layout
- Building materials
- Setbacks
- Garden style
- Car parking and other outbuildings (where relevant)
- Front boundary treatment

Neighbourhood character and Amenity

Amenity concerns aspects such as pleasantness, ambience and liveability of an area. Neighbourhood character is about sense of place and community value. Regardless of the character of an area there are standards of residential amenity that apply to all residential development.

These basic amenity standards include overlooking, overshadowing and solar access. Sometimes, these amenity standards can have an effect on neighbourhood character, but as a general principle, neighbourhood character and amenity should be treated separately.

Neighbourhood character and Heritage

In defining neighbourhood character, it is important to understand the differences between neighbourhood character and places of heritage significance that are generally recognised in the planning scheme.

While all areas have a history, not all areas are of heritage significance. Heritage significance is determined by recognised criteria set by Commonwealth, State and local governments, with reference to the Burra Charter. In governments, heritage places and areas are recognised by application of the Heritage Overlay in planning schemes or inclusion on the Victorian Heritage Register. Cultural heritage is largely embodied in the underlying values and the broader physical context of a building or place. It is important to manage and retain this fabric and setting to retain the cultural significance of a place. Heritage significance can't be improved, but the fabric of a place can be improved, restored or reinterpreted.

In many areas building style is important to setting the character of the area. This includes not just typical form and massing, but may also include architectural details, materials and colours. Buildings do not need to be old or historically significant to have a character that is important to people's understanding and enjoyment of an area.

* It should also be noted that issues related to traffic, on-street parking, traffic connectivity and the movements of cars are not relevant to the assessment of neighbourhood character as defined in Planning Practice 43 Understanding Neighbourhood Character.

1.5 Methodology

Desktop Analysis & Background Review

The desktop analysis produced character area boundaries and enabled a general understanding of the study area. Indicative character area boundaries identified in the 2015 Ballarat Strategy were referred to and further refinement was undertaken. The desktop analysis included all land within the Low Density Residential Zone (LDRZ), Mixed Use Zone (MUZ), Township Zone (TZ), Residential Growth Zone (RGZ), Neighbourhood Residential Zone (NRZ), General Residential Zone (GRZ).

Site Survey

Field surveys were undertaken to ground truth the preliminary neighbourhood character areas, which resulted in further refinement of boundaries.

The methodology for the field surveys included:

- A review of the previous neighbourhood character area boundaries.
- A site survey to verify desktop analysis of preliminary character areas.
- An assessment of areas based on the general attributes of private and public realms: built form and layout of the different areas; overall streetscape qualities; vegetation and landscape quality and the era of development.
- Photos for each area and character type.
- Identification of the characteristics and neighbourhood character impacts of new and infill development.
- Identification of more specific character precincts within each character type.

Engagement

Stage 1 – Community Consultation

The first stage of engagement was conducted between July and September 2020.

This initial stage primarily sought to inform the community about the project, educate the community about neighbourhood character, introduce the Study and preliminary character boundaries, and understand the communities' views on what's important about the character in their local neighbourhoods.

Various engagement methods included:

- Online engagement and surveys via MySay.
- Social media engagement via Instagram and Facebook.
- In person and online.
- Engagement materials set up in Bridge Mall shop windows.

Stage 2 – Community Consultation

The second stage of engagement occurred between September to October 2023. The purpose of this stage was to seek feedback on both the first draft of the Neighbourhood Character Study and draft Housing Strategy. This stage included an online survey and opportunity for the community to provide written submissions.

The Department of Transport and Planning (DTP) also provided a suite of comments on the Draft Study as a part of this stage of consultation that provided guidance for the need for further strategic work to inform the preferred character statements and refinement of character areas boundaries.

Stage 3 – Community Consultation

The third stage of engagement was conducted in response to this updated Draft Neighbourhood Character Study. The purpose of this stage was to ensure all community feedback relevant to the draft study has been captured.

Neighbourhood Character Study

Following all stages of consultation, the updated Neighbourhood Character Study was prepared to reflect the findings of the Strategic Background work, the site survey, and the values identified by the community and the City of Ballarat.

The Study has been finalised to reflect the findings of the final stage of community consultation.



2.0 Planning Context

2.1 Planning Policy Framework

Overview

This section provides an outline of the Planning Policy Framework (PPF) for the City of Ballarat and outlines the implications for the Neighbourhood Character Study.

The PPF seeks to guide future development within the City of Ballarat, including specific policies relating to built form, vegetation and neighbourhood character.

The City of Ballarat Local Planning Policy Framework (LPPF) contains specific neighbourhood character objectives, strategies and implementation guidelines that have statutory effect.

This Neighbourhood Character Study will synthesise the existing policy context, ensuring that preferred character objectives and design guidelines are appropriate and align with both State and Local planning directives.

Planning Policy Framework

The Planning Policy Framework (PPF) provides context for planning decision making. Planning objectives are fostered through appropriate land use and development policies and practices, which integrate relevant environmental, social and economic factors.

The PPF recognises the importance of neighbourhood character and contextual design. It states that neighbourhood character should be protected and recognised.

The PPF includes both Victorian Planning Provisions (VPPs) and Local Planning Provisions (LPPs) which provide general objectives and specific local directions respectively.

The VPPs relevant to this Study include:

11.01-1S Settlement: Seeks to deliver housing that facilitates access to jobs, services, infrastructure and community facilities. A key component of this clause is to promote and capitalise on opportunities for urban renewal and infill redevelopment. New residential development should be planned around existing or future activity centres to maximise accessibility to facilities and services.

12.01-2S Native Vegetation Management: Seeks to ensure that native vegetation is not unnecessarily removed or destroyed.

12.05-2S Landscapes: Seeks to protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

13.02-1S Bushfire Planning: Seeks to strengthen the resilience of human settlements and communities. Importantly, this policy outlines the need to give priority to the protection of human life over all other policy considerations.

15.01-1S Urban Design: Seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. Design responses should respond to local contextual features including, character, cultural identity, natural features, surrounding landscape and climate.

15.01-5S Neighbourhood Character: Seeks to recognise, support and protect neighbourhood character, cultural identity, and sense of place. Design responses should for new development should respect existing neighbourhood character or contribute to a preferred neighbourhood character.

16.01-1S Housing Supply: Seeks to provide well-located, integrated and diverse housing that meets community needs. Design responses for new housing in established urban areas should focus on providing higher density housing development on sites that are proximal to jobs, services and public transport.

Further objectives, strategies and guidelines that are specific to Ballarat are included within LPPs. Those that are of most relevance to this Study include:

Municipal Strategic Statement: The City of Ballarat is currently preparing an Amendment to update the Local Planning Policy framework (Planning Scheme Amendment C215ball) as required by VC148 which introduced a new state-wide Planning Policy Framework. Amendment C215ball is for the most part, policy neutral, therefore recommendations are provided in response to the existing Municipal Strategic Statement (will be renamed Municipal Planning Strategy following amendment) under Clause 21 of the Ballarat Planning Scheme.

Clause 21.01-4 Key Issues: This policy is designed to ensure that infill development enhances the cultural significance and character of historic areas. This emerged as a key issue in the Ballarat Strategy. This Study seeks to facilitate infill development that respects existing neighbourhood character and is responsive to preferred neighbourhood character.

Clause 21.02-1 Urban Growth: This policy recognises that Ballarat's population is forecast to grow by 160,000 people by 2040, most of which is planned to be accommodated in established areas, convenience living areas close to public transport, urban renewal precincts, and in properly planned greenfield growth areas. In areas outside those designated and which are not adequately serviced by public transport, change should be incremental and to an appropriate scale. Specific guidance is provided in the different areas, which include: Areas of convenience living, Urban renewal precincts, Strategic investigation areas, Prioritised completion of the Ballarat West Growth Area, Longer-term greenfield investigation areas, Townships, and Ongoing change areas.

Clause 21.02-2 Areas of convenience living: This policy defines Areas of convenience living as areas of housing close to public transport and services where growth in density and diversity of housing supports the long-term potential for a rapid-transit style public transport network in Ballarat. More residential development along defined corridors is a pre-requisite to viable high frequency public transport services.

Clause 21.02-3 Urban renewal precincts: This policy defines Urban renewal precincts as sites or areas with significant potential for large-scale renewal and redevelopment. Further investigation and feasibility work is required to determine the extent of potential for change within each precinct. Structure, framework or master plans will be prepared for these precincts and incorporated into the planning scheme where appropriate to help facilitate development.

Clause 21.02-4 Greenfield investigation areas: This policy identifies key greenfield development areas in the short- to medium-term. Medium to long-term greenfield investigation areas require further strategic assessment.

Clause 21.02-5 Ongoing change areas: This policy defines Ongoing change areas as residential areas that are valued for their existing suburban character and housing supply. Infill development is encouraged at a scale appropriate to their relative distance to high frequency public transport corridors, activity centres, employment and taking into account the neighbourhood character. In fringe areas, overall density should provide an important transition between urban areas and rural, lifestyle or other low density non-urban uses.

Clause 21.02-6 Townships: This policy identifies that the townships of Buninyong, Burrumbeet, Cardigan Village, Learmonth, Miners Rest and Warrenheip and their surrounding communities provide an attractive lifestyle choice in a rural setting. These townships are valued by residents for their character, community and lifestyle. They represent a different style of living to urban Ballarat and contribute to the diversity of lifestyle and choice in the municipality. Services and infrastructure are unique to each township, as are local values and expectations. Significant land use changes should respond to local township character, and long-term community aspirations.

Clause 21.02-7 Housing: This policy highlights the importance of social diversity, which requires a mix of housing sizes and types, affordable and social housing, and housing suitable for people of all abilities.

Clause 21.03-1 Biodiversity: This policy identifies that protecting and enhancing habitats and biodiversity throughout Ballarat as part of an urban forest. This will be addressed in the Preferred Neighbourhood Character Statements as well as objectives and decision guidelines contained within the new Schedules to the Residential zones.

Clause 21.03-2 Significant Environments and Landscapes: This policy identifies that Ballarat is home to a range of important vistas including sweeping views of gently undulating grazing land, treed roadsides, mountains, lakes and wetlands, and that it is also host to important natural features and areas of high natural biodiversity values. This Study includes a recommendation about how landscape and views should be preserved in residential areas with these characteristics. It is anticipated that the findings from the Ballarat Skyline and Views Study will be implemented through an Amendment to the Ballarat Planning Scheme.

Clause 21.06-1 Urban Design: This policy identifies that design quality is crucial to Ballarat's identity and competitiveness. High quality streetscapes and open spaces can increase the level of amenity and functionality, making places more attractive to visitors, investors, retailers and consumers. The proposed new Schedules to residential zones into the Ballarat Planning Scheme will include objectives, requirements and application guidelines that seek to deliver high quality urban design outcomes that consider context and local values. The planning controls will require that a planning application considers scale, bulk and quality of infill development.

Clause 21.06-2: Heritage: This policy acknowledges that the Ballarat community highly values Ballarat's heritage and historic character and that these must be retained into the future. It aims to preserve and enhance heritage character in Ballarat. This Study will include recommendations for planning controls that encourage new infill development that respects and enhances the heritage character of Ballarat.

Clause 21.06-3: Neighbourhood Character: This policy demonstrates the importance Council places on identifying and preserving areas with significant neighbourhood character values. The policy states that neighbourhood character must be considered in the assessment of infill housing development proposals within existing residential areas, while acknowledging tensions between urban consolidation and respecting residential amenity and neighbourhood character.

2.2 Zone and Overlays

Overview

This section provides an outline of the zones and overlays that affect the City of Ballarat and outlines the associated implications for the Neighbourhood Character Study.

Local variations to zone schedules and overlays provide existing controls to guide appropriate built form outcomes, retain existing vegetation and enhance significant landscapes.

Planning Scheme Zones

The Residential Zones applicable to the Study include:

- Low Density Residential Zone (LDRZ)
- Mixed Use Zone (MUZ)
- Township Zone (TZ)
- Residential Growth Zone (RGZ)
- General Residential Zone (GRZ)
- Neighbourhood Residential Zone (NRZ)

Low Density Residential Zone (LDRZ)

The LDRZ applies generally to areas on the periphery of the existing GRZ land. In Ballarat, LDRZ is present in Brown Hill, Buninyong, Cardigan, Mount Hellen, Warrenheip and Winter Valley localities. Typically the LDRZ provides for low density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater on site. Typical housing development includes single storey detached dwellings.

There are no requirements for building height and building height cannot be specified in a schedule to the zone. Limited ResCode requirements must be met for subdivisions.

There are no opportunities to vary ResCode requirements.

Mixed Use Zone (MUZ)

The MUZ provides for a range of residential, commercial and industrial uses that complement the role and function of activity centres. MUZ is present in multiple locations across the municipality, typically along declared roads and railway lines. There are no requirements for building height, however, a maximum building height can be specified in a schedule to the zone.

ResCode requirements must be met for dwellings and subdivisions. The zone schedule allows for the inclusion of design objectives and to vary ResCode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height. These standard built form requirements have not been varied in Ballarat.

Township Zone (TZ)

The TZ currently applies to the municipality's smaller settlements, Cardigan, Cardigan Village and Learmonth, where the separation of land uses (between residential, industrial and commercial) is not as critical to the function of town. Building height is discretionary and defaults to Clause 54 and Clause 55 standards (9 metres) if nothing is specified in the schedule.

ResCode requirements must be met for dwellings and subdivisions. The zone schedule allows for the inclusion of design objectives and to vary ResCode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height. These standard built form requirements have not been varied in the City of Ballarat.

Neighbourhood Residential Zone (NRZ)

The NRZ applies to pockets of residential development in Ballarat East, Brown Hill, Buninyong, Canadian, Miners Rest, Mount Clear and Mount Helen.

The purpose of the NRZ is to recognise areas of predominantly single and double storey residential development.

The NRZ allows for building heights of up to 9 metres and must not exceed 2 storeys at any point. Specific local controls for Ballarat Council can be specified in a schedule to the zone.

The NRZ is the only residential zone in the Ballarat Planning Scheme that includes multiple schedules. The NRZ includes three schedules to the zone:

- Schedule 1 to the NRZ applies generally with no variation to the ResCode controls.

- Schedule 2 to the NRZ applies to areas in Buninyong and applies a minimum lot size of 800m² for subdivision. Schedule 2 includes variations to ResCode that requires no more than 45% of site coverage, no more than 30% non permeable area and a minimum rear setback of 5m.
- Schedule 3 applies to Miners Rest North and includes neighbourhood character objectives that seek to maintain a rural township character and views to the surrounding rural landscape. Schedule 3 applies a minimum lot size of 750m² for subdivision. It includes a variation to ResCode to require one canopy tree per 175m² of site area.

Residential Growth Zone (RGZ)

The RGZ applies to a select number of sites in Bakery Hill, Ballarat Central, Ballarat East and Wendouree, allowing for increased densities given proximity to commercial services and facilities. Typical housing development includes unit complexes, duplexes and apartment developments.

There is a maximum mandatory building height of 13.5 metres, unless specified otherwise in a schedule to the zone. ResCode requirements must be met for dwellings and subdivisions.

There is an opportunity to introduce design objectives and to vary ResCode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height.

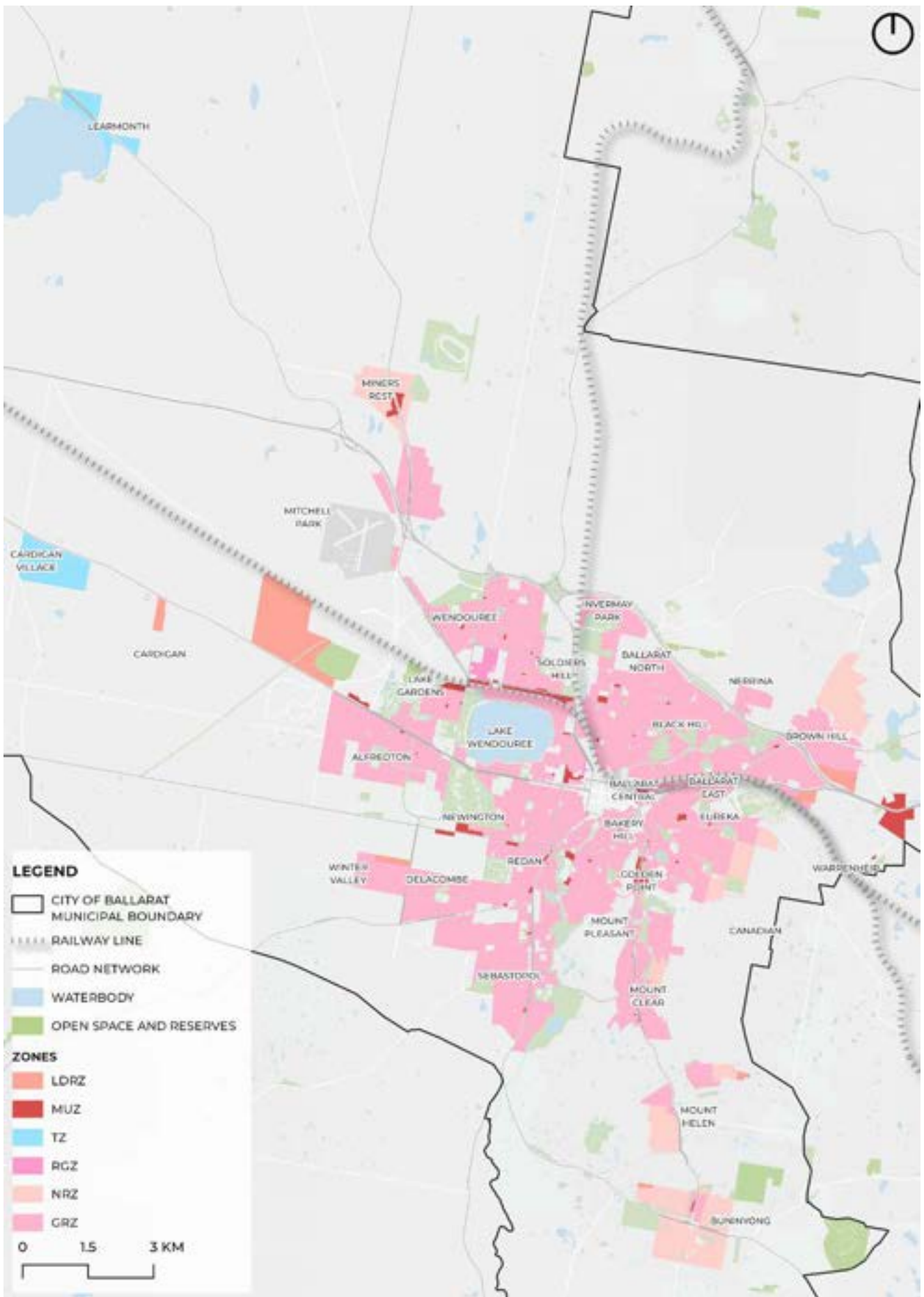
General Residential Zone (GRZ)

The predominant residential zoning within the City of Ballarat is the GRZ. Typical housing development within the GRZ includes single detached dwellings and multi detached dwellings, with the occasional unit complex closer to town centres.

There is a maximum mandatory building height of 11 metres and 3 storeys, unless specified otherwise in a schedule to the zone. ResCode requirements must be met for dwellings and subdivisions.

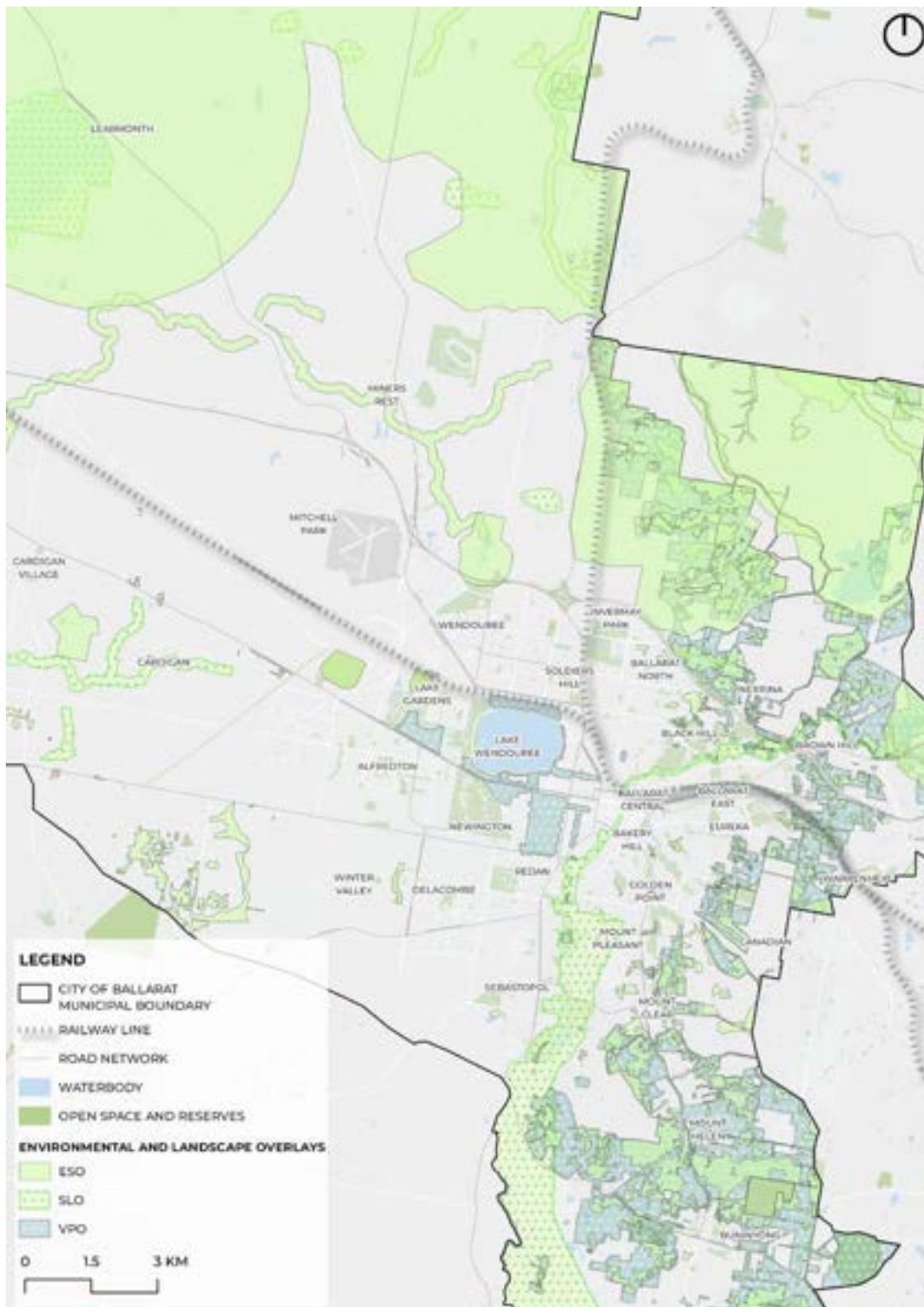
There is an opportunity to introduce neighbourhood character objectives and to vary ResCode requirements relating to street setback, site coverage, permeability, landscaping, side and rear setbacks, walls on boundaries, private open space and front fence height. These standard built form requirements have not been varied in Ballarat.

Zone Map



Overlays

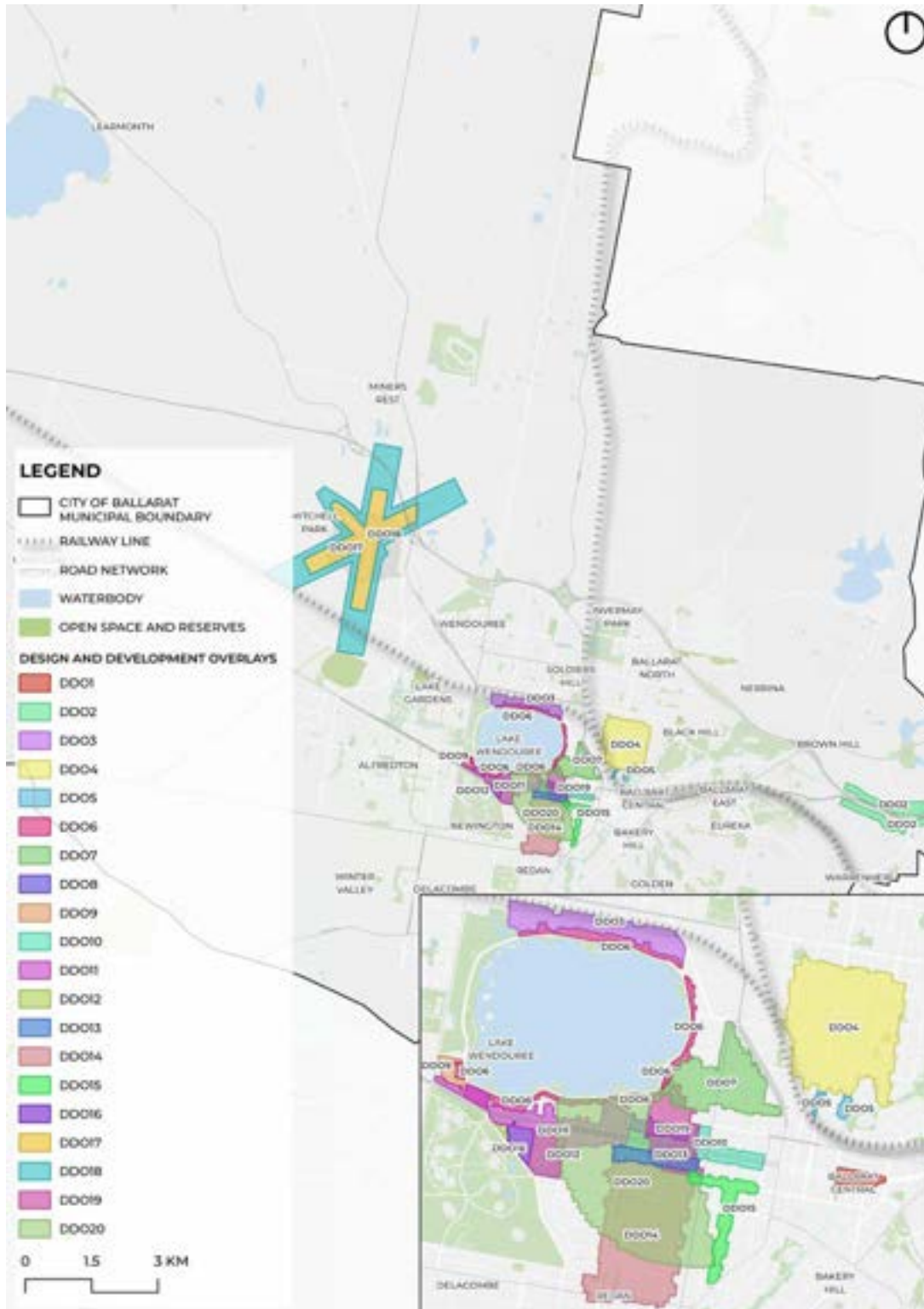
Zone Map



Environmental and Landscape Overlays:

- **Environmental Significance Overlay (ESO):** identifies areas where development may be affected by environmental constraints and ensures that development is compatible with environmental values.
- **Significant Landscape Overlays (SLO):** identifies and protects the character of significant landscapes.
- **Vegetation Protection Overlay (VPO):** identifies areas of existing significant vegetation and encourages regeneration of native plants and trees.

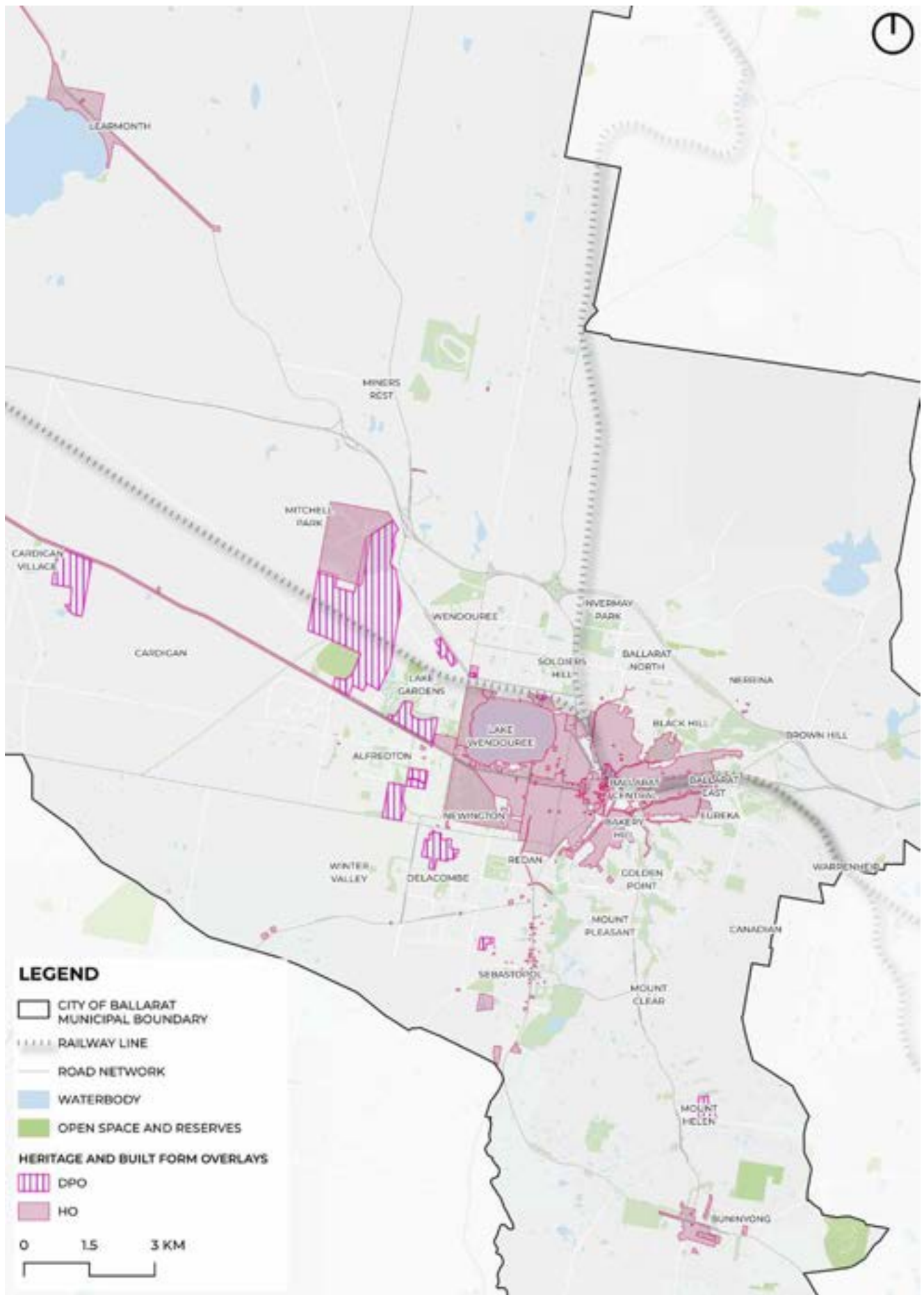
Design and Development Overlay Map



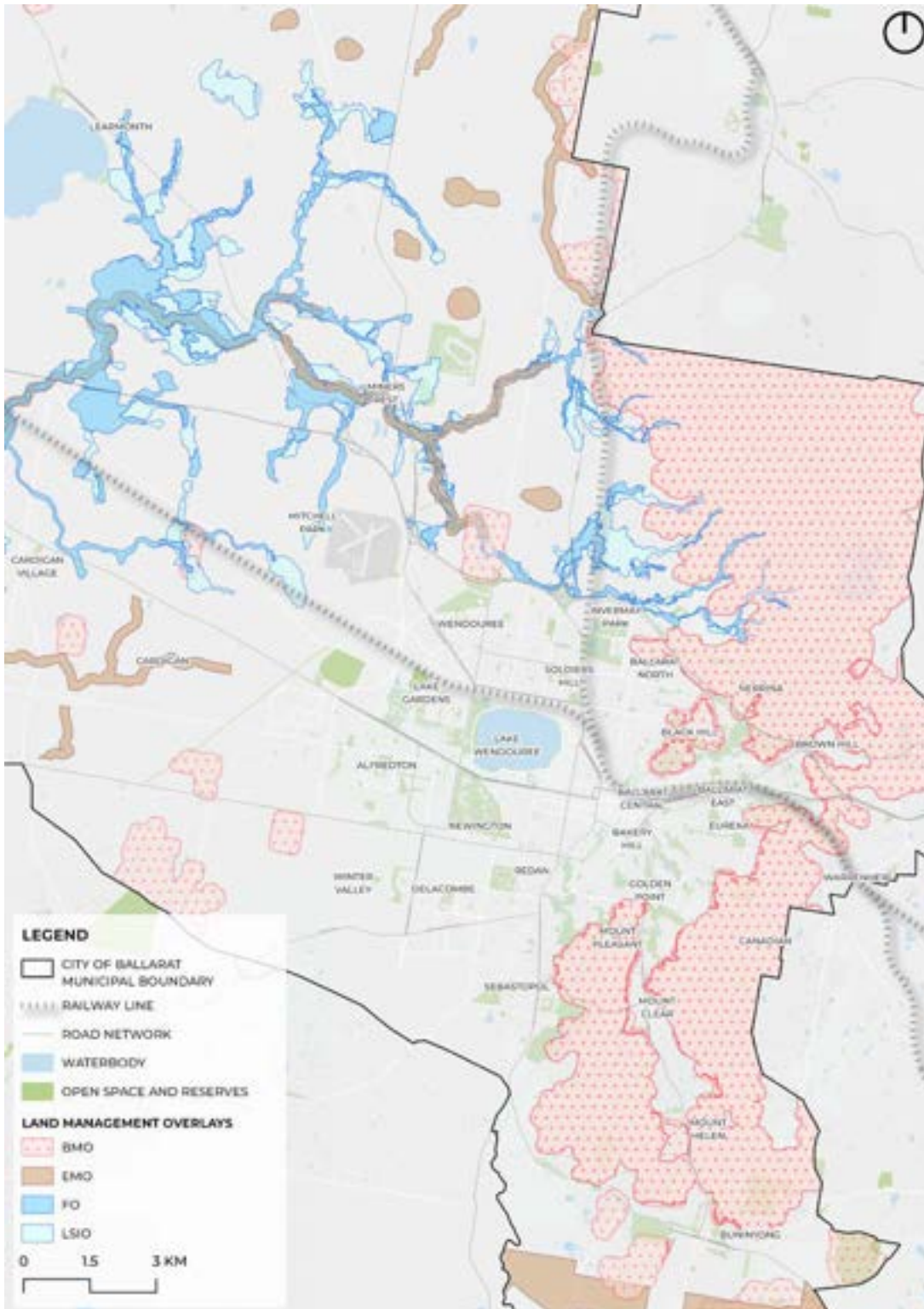
Heritage and Built Form Overlays:

- **Design and Development Overlay (DDO):** identifies areas which are affected by specific requirements relating to the design and built form of new development.
- **A review of the DDO Schedules that impact the study area is included at Appendix A.**
- **Development Plan Overlay (DPO):** identifies areas that require future use and development to be outlined on a development plan, before a permit can be granted.
- **Heritage Overlay (HO):** identifies, conserves and enhances heritage places of natural or cultural significance and to ensure development does not adversely affect the significance of heritage places.

Development Plan Overlay and Heritage Overlay Map



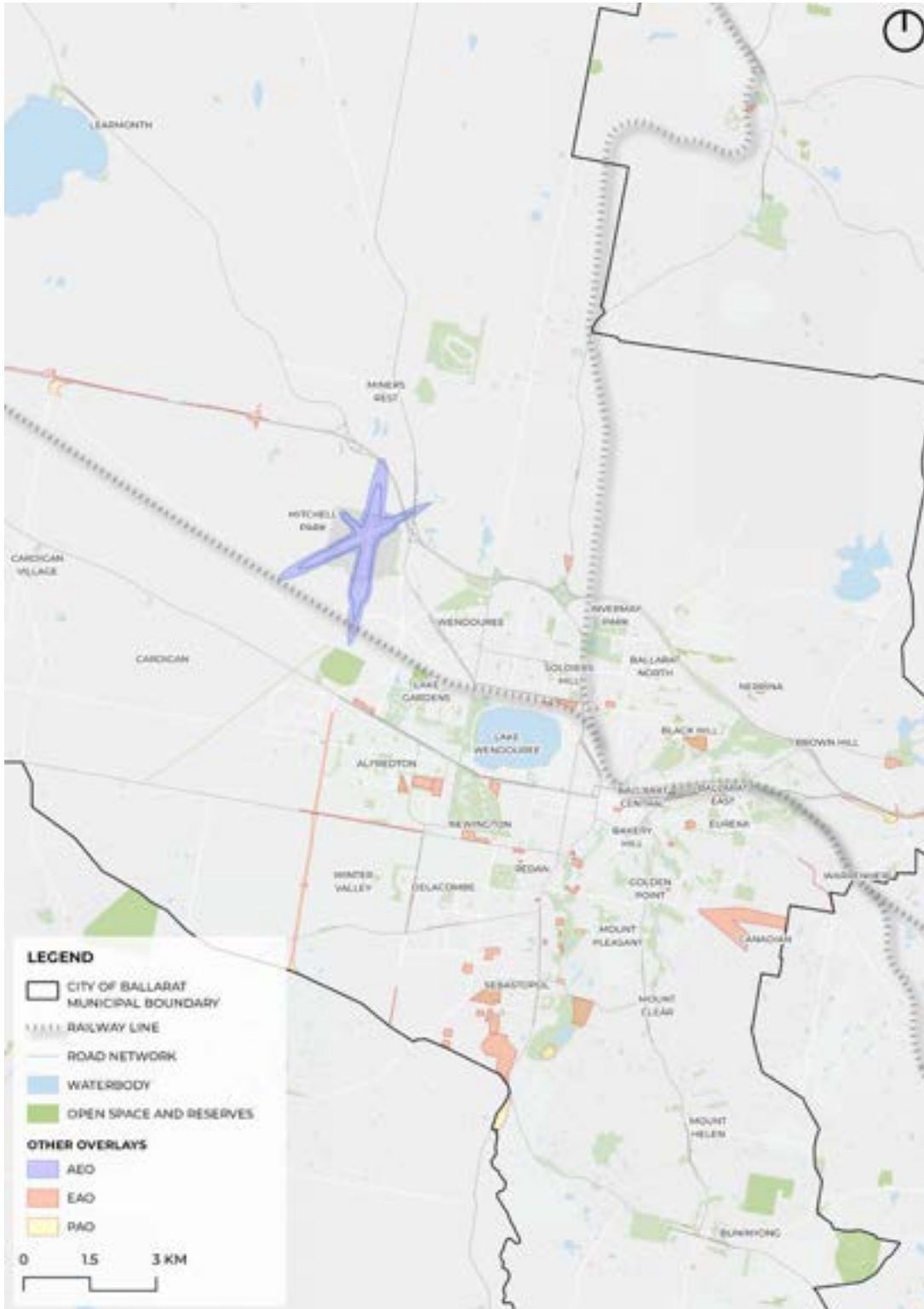
Land Management Overlays Map



Land Management Overlays:

- **Bushfire Management Overlay (BMO):** identifies land where there is a high potential for bushfire risk.
- **Erosion Management Overlay (EMO):** Seeks to protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.
- **Floodway Overlay (FO):** identifies waterways, major footpaths, drainage depressions and high hazard areas which have the greatest risk and frequency of flooding.
- **Land Subject to Inundation (LSIO):** identifies flood prone areas and requires development to maintain the free passage of flowing flood water.

Other Overlays Map



Other Overlays:

- **Airport Environs Overlay (AEO):** ensures that land use and development are compatible with the operation of airports.
- **Environment Audit Overlay (EAO):** ensures that potentially contaminated land is suitable for a use which could be significantly adversely affected by any contamination.
- **Public Acquisition Overlay (PAO):** identifies land which is proposed to be acquired by the Minister, public authority or local government.

2.3 Neighbourhood Character Policy

Neighbourhood Character Assessment

How neighbourhood character is defined and assessed is set out in Planning Practice Note 43.

A qualitative assessment is used to assist with identifying features and characteristics of an area to define the neighbourhood character of the area. The assessment takes into account elements of the public and private realms which has informed the assessment of the existing neighbourhood character, as well as the development of preferred character statements and design guidelines included in this Study.

Updates to Victorian Planning Provisions

In 2013, Amendment V8 introduced new residential zones into the Victorian Planning Provisions. The new zones support a range of housing densities and cater to changing needs of households and allow for local variations to residential development in the form of residential zone schedules to protect local neighbourhood character.

Planning Practice Notes

Planning Practice Notes (PPN) define what is meant by neighbourhood character and inform the neighbourhood character methodology of this Study.

Practice Note 43 – Understanding Neighbourhood Character (DTP, 2018)

Planning Practice Note 43 provides guidance for applicants, the community and Councils about:

- Understanding what is meant by neighbourhood character.
- Preparing or assessing a permit application for a residential development.

The PPN43 details the key attributes that cumulatively contribute to character. Importantly, PPN43 establishes that neighbourhood character is considered to be the cumulative impact of attributes in both the public and private realms. It is the relationship between these attributes, and how they physically appear on the ground, that is the most important consideration for neighbourhood character.

Practice Note 90 – Planning for Housing (DTP, 2019)

Planning Practice Note 90 provides information and guidance about how to plan for housing growth and protect neighbourhood character.

Key points relevant to this Study include:

- Respecting character does not mean preventing change. In simple terms, respect for the character of a neighbourhood means that development should be designed in response to its context.

This Study will identify qualities of the public and private realm that contribute to neighbourhood character in Ballarat.

Practice Note 91 – Using Residential Zones (DTP, 2019)

Planning Practice Note 91 provides information and guidance about the use of residential zones in addition to the local policies and overlays to implement strategic work and how best to make use of the key features of the residential zones.

Key points relevant to this Study include:

- Rather than specifying preferred neighbourhood character statements in local planning policy, objectives can be specified in a schedule to a residential zone to implement the preferred neighbourhood character.
- The Neighbourhood Character Overlay (NCO) can be used for an area that exhibits characteristics that are distinctly unique to the rest of the municipality and require a specific approach to assessing neighbourhood character.
- An NCO cannot be used as a ‘blanket’ control across the municipality, but rather should only be applied when the following criteria are met:
 - the proposed area exhibits existing characteristics that need to be protected, or need to be changed to achieve a preferred character.
 - the area, relative to the rest of the municipality, can be demonstrated to require a specific approach to neighbourhood character.
 - the application of local planning policy cannot meet the neighbourhood character objectives for that area.
 - the application of objectives, standards or variations to clause 54 and clause 55 cannot meet the neighbourhood character objectives for that area.
- Generally, the NCO should not be applied to areas impacted by a Heritage Overlay. Whilst the heritage characteristics of an area will contribute to neighbourhood character, the role of the Heritage Overlay should be to solely conserve existing buildings and is not used as a neighbourhood character control.

Key findings of this Study will consider how the existing zone schedules and overlays can be better utilised to protect and enhance neighbourhood character in Ballarat.

Victoria's Housing Statement

The following section provides an overview of the impact of the Victoria's Housing Statement and reforms to policy which seek to address issues of housing supply and affordability. Specifically, Amendment VC242 and VC243 came into effect during stage 4 of this Project, gazetted on the 20th of September 2023.

Amendment VC242

A major change has been introduced to all Victorian Planning Schemes via Amendment VC242 following the release of Victoria's Housing Statement (22 September 2023). Amendment VC242 is required to facilitate development that provide a significant level of housing, improving housing choice and affordability.

Specific implications of Amendment VC242

Essentially, Amendment VC242 introduces two new controls into Planning Schemes:

- Clause 53.22 (Significant Economic Development)
- Clause 53.23 (Significant Residential Development with Affordable Housing)

These new planning pathways are voluntary and do not apply to current/live applications.

In summary, these changes seek to provide a facilitated assessment process for significant development which can have an immediate and meaningful effect on addressing current housing and economic issues.

Amendment VC243

A further change has been introduced via Amendment VC243 which is required to support the delivery of housing in Victoria.

Amendment VC243 seeks to:

- Codify residential development standards.
- Implement the Future Homes project across the State.
- Remove permit requirements for single dwellings on lots of 300 square metres or more.
- Introduce VicSmart permits for single dwellings on lots less than 300 square metres.

Implications of Amendment VC243

Codifying residential development standards

The codification of residential development standards relates to those at Clause 54 (one dwelling on a lot) and Clause 55 (two or more dwellings on a lot) of the Planning Scheme.

This process seeks to create a more certain planning permit process, reducing potential barriers to swift approvals and clarifying how the standards are to be met.

Future Homes

Amendment VC243 introduces a new General Requirement and Performance Standard at Clause 53.24 of the Scheme in respect to the Future Homes initiative.

Clause 53.24 seeks to facilitate apartments developments that:

- Incorporate exemplar designs approved under the Future Homes project.
- Increase the density and diversity of housing to respond to Victoria's population growth.
- Are exemplary in their design, liveability and sustainability.

Clause 53.24 will apply to any application under the General Residential Zone (GRZ) to construct two or more dwellings on a lot provided:

- The development is an apartment development.
- Design of the apartment development must use a licensed exemplar design approved under the Future Homes project overseen by the DTP.
- The land is within 800 metres of a railway station or an activity centre.
- The land is not within a Heritage Overlay or Neighbourhood Character Overlay.

Removal of the requirement for planning permission for a single dwelling on a lot over 300 square metres

Amendment VC243 removes from the GRZ, NRZ and TZ, the ability to specify in the schedule to those zones that planning permission is required to construct or extend a single dwelling on a lot (or construct or extend a fence within 3 metres of a street) on a lot of 300 square metres or more.

Effectively, there is no longer a requirement to obtain a planning permit to construct a single dwelling on a lot over 300 square metres unless this a requirement specified under other provisions of the Scheme i.e. an Overlay.

Introduction of VicSmart permits for single dwellings on lots less than 300 square metres

By making applications to construct or extend a single dwelling on a lot of less than 300 square metres appropriate to pursue via the VicSmart pathway, this will reduce the administrative cost and resources for the responsible authority, allowing planners to focus on assessing larger and more complex proposals.

Granny Flat Permit Exemption

Following the Victorian Housing Statement, a small second home up to 60 square metres, also known as a granny flat, secondary dwelling or an accessory dwelling unit, no longer requires a planning permit in most cases where there is no flooding, environmental or other special planning controls.

A small second home still requires a building permit, to meet siting, amenity, design, and safety requirements – and cannot be subdivided or separately sold off from the main home.

Amendment VC253 made changes to the Victoria planning provisions and all planning schemes to coordinate the approval processes to build a small second home.

2.4 Strategic Documents

As part of this Study a review of the City of Ballarat's suite of strategic documents has been undertaken. Findings from this review relevant to neighbourhood character and this Study, as well as future development opportunities within the City of Ballarat have been grouped by theme.

- City of Ballarat Council Plan 2021-2025 (August 2021)
- Ballarat Station Precinct Redevelopment (March 2022)
- Ballarat West Precinct Structure Plan (October 2016)
- Alfredton West Precinct Structure Plan (2011)
- Urban Forest Action Plan (March 2019)
- Today Tomorrow Together: Ballarat Strategy 2040 (July 2015)
- Ballarat's Future Housing Needs: 2021-2041 (June 2023)
- Bakery Hill Urban Renewal Plan (October 2019)
- Ballarat Creative City Strategy (April 2019)
- Ballarat Heritage Plan 2017-2030 (December 2017)

Housing

- The City of Ballarat acknowledges that increased residential development is necessary to support its growing population.
- Ballarat has capacity to deliver housing via infill development and in its growth areas.
- New housing should be located to have access to services, infrastructure and amenity. New infrastructure may need to be delivered to ensure Ballarat's growth areas have an equal access to services as its established suburbs.
- Although there is high demand for single, detached dwellings, there is a need for future development to provide more diverse housing choices.
- The Ballarat community supports increased diversity of housing, given that it responds to the character of a neighbourhood.

Heritage

- The heritage of Ballarat contributes to the overarching character and identity of Ballarat as a regional centre of Victoria.
- Central Ballarat is a key heritage precinct that is situated on a plateau which provides views to Ballarat East and other important visual landmarks including Mt Warrenheip and Mt Buninyong.
- Views to prominent landmarks in the heritage precincts of the Ballarat CBD are highly vulnerable to greater building density and a change in the ratio of space and mass as a result of increased development.
- In heritage precincts, the colours and materials used in new development should be sympathetic and consistent with the colours and materials used in existing development.

Vegetation and Landscaping

- Ballarat has extensive tree canopy coverage that contributes to the greening of streetscapes and the overall amenity of the municipality.
- With goals to increase tree canopy cover to 40% by 2040, it is generally expected that new development will include generous landscaping with at least one canopy tree in the front setback.
- Tree canopy coverage is highest in areas that are within proximity to waterways and areas of public open space. Trees in these areas are often protected by environmental overlays.
- The street trees within Ballarat Central and Ballarat East have heritage values and are widely valued by the community of Ballarat. These trees are mature and overhang the road to frame the streetscape.

Please refer to **Appendix B** for a summary of the strategic documents and implications for Neighbourhood Character.



3.0 Engagement

Two separate stages of community engagement have been undertaken to date to consult with the local community. The first stage occurred between July and September 2020 and the second stage occurred between September and October 2023.

Promotional activities for both stages of engagements included:

- Distribution of project brochure
- Posts to Ballarat My Say page
- Social media promotion
- FAQ one page overview
- Media releases and advertising in newspapers
- Social media advertising
- Radio interviews and advertising

3.1 Summary of Stage 1 Engagement

Stage 1 engagement occurs between July and September 2020 included the following consultation activities includes:

- One to one online engagement sessions
- Online community information drop-in sessions
- Online community feedback survey
- Interactive neighbourhood character feedback map
- Targeted stakeholder engagement
- Invitation to provide written feedback

A total of 659 people engaged with the material provided online during the first phase of consultation. This led to 59 responses to the community feedback survey and 10 attendees at the community information drop-in sessions.

These consultation activities invited respondents to identify elements of neighbourhood character that they valued, including:

- Streetscape and relationship of buildings to the street
- Architectural style of buildings
- The palette of material used for the façade of buildings
- Retained or rehabilitated heritage buildings
- Roof styles
- Landscaping of front yards
- Canopy cover on streetscape
- Front fencing

Respondents generally identified all the above character attributes as important, with 41% noting that the streetscape was the most valued element of their neighbourhood.

The survey also asked respondents to identify the type of housing they would like to see where they live. This question received 53 responses, of which the majority of respondents identified a preference for detached dwellings.

3.2 Summary of Stage 2 Engagement

Stage 2 of community consultation occurred between September and October 2023. It included an invitation to local residents and key stakeholders to provide a written submission detailing their feedback on the Draft Ballarat Housing Strategy.

A total of 76 written submissions were received. Of these submissions:

- 23 were received from community members
- 27 were from the development industry
- 8 were from consultants on behalf of landowners
- 11 were from agencies and government departments
- 7 were from community groups

Whilst none of the submissions raised issue with the Draft Ballarat Neighbourhood Character Study and the character areas, they provide commentary on key issues that relate to housing and sustainable development in Ballarat.

All submissions were reviewed and included in a thematic analysis to understand the key issues, opportunities and considerations that needed to be further addressed in the Final Ballarat Housing Strategy.

This analysis found that submissions were generally supportive of the character areas included in the Draft Neighbourhood Character Study.

DTP provided a submission that included commentary on the character areas and the Draft Neighbourhood Character Study. The commentary identified elements

of the Draft Neighbourhood Character Study that could be improved which includes:

- The preferred neighbourhood character should be considered separately from level of change, rather than defining preferred character based of the level of change envisaged for an area.
- The geographical boundaries of each character area should be mapped to avoid misalignment of the boundaries for character areas and housing change area.
- Characters areas should be consolidated to ensure that one housing change area has been applied for each character area so that they include distinct character objectives that inform the selection and extent of the change areas.
- Recommendation for a Residential Development Framework to show change areas and character areas on the map.

The key issue themes and commentary from the submissions include:

- Infill target and growth areas:
 - The heritage constraints and cost of land in the urban areas of Ballarat make it difficult to deliver infill development.
- Biodiversity and climate change:
 - The biodiversity of landscaping across Ballarat contributes to character and should be retained to address climate change.
- Affordability and Diversity
 - A greater diversity of housing types can be supported in Ballarat without devaluing neighbourhood character by providing high quality building designs.
- Structure and Evidence Base
 - DTP's comments primarily requested further information to form a stronger planning context to support the Ballarat Housing Strategy.
- Heritage and Character:
 - Concerns were raised that the heritage constraints to the development of land hadn't been fully considered in land capacity analysis. This had consequential concerns that the delivery of housing would be prioritised over the protection of heritage buildings.
 - The heritage areas in Ballarat East and Ballarat North were noted as requiring special protection.

An additional stage of community consultation, known as Stage 3 Engagement, was undertaken on this updated Draft Neighbourhood Character Study in the second half of 2024.

4.0 Key Issues and Threats

4.1 Overview

In order to appropriately determine the future planning provisions for the implementation of the preferred neighbourhood character areas in this Neighbourhood Character Study, the key issues and threats to character require consideration.

These issues and threats are summarised below, and are based on the desktop assessment, site visit findings and outcomes of community consultation.

The following themes have been identified as the key issues and threats:

- Heritage
- Loss of vegetation and landscaping
- Topography and views
- Contemporary infill development
- Dominant fencing styles
- Location of car parking

The following section provides an overview of each of these issues and threats and identifies areas and key locations which are affected by these themes.

4.2 Heritage

- The study area includes a high number of heritage buildings and precincts, particularly in the areas within close proximity to Ballarat CBD in Ballarat East, Ballarat South and Ballarat North.
- Heritage buildings are less common outside the inner suburbs of Ballarat, with the exception of Sebastopol that includes a number of heritage dwellings along Albert Street.
- Protection of heritage buildings is important to the community and plays a key role in the identity of the City of Ballarat.
- Ballarat East, Ballarat South and Ballarat North include various early to late Victorian dwellings that were constructed between 1900 and 1940. These dwellings are impacted by the Heritage Overlay which applies controls that restrict the extent of works that can occur to the external components of some dwellings.
- Ballarat East and Ballarat North feature non-residential heritage buildings, particularly on street corners, that contribute to the character of these areas.
- A mix of heritage and non-heritage dwellings are located around Lake Wendouree, with heritage dwellings more common on the eastern side of the lake.
- Learmouth is identified as a key heritage precinct for the City of Ballarat and is impacted by the Heritage Overlay.

Infill and large scale development can threaten the quality of heritage precincts by dominating and disrupting the streetscape and delivering modern architectural styles and materials that are inconsistent with the wider heritage precinct.



Dwellings in Ballarat East
Photos by Ethos Urban



Dwelling in Ballarat North

4.3 Vegetation and Landscaping

- The residential streets throughout the City of Ballarat typically include street tree planting, with a higher density of street tree planting in the older residential areas compared to the more recently development estates.
- Ballarat East includes mature canopy trees on both sides of the street as a key attribute to its character. The large and well established street trees in Ballarat East acts as the main form of landscaping on the streetscape as dwellings in Ballarat East often do not include a front setback that can accommodate vegetation.
- Mature street trees are also prevalent in Ballarat North however not to the same extent and density as Ballarat East. Infill development in Ballarat North with reduced front and side setbacks that do not provide the area required for new canopy tree planting threatens the delivery of landscaping visible from the streetscape.
- Dwellings in Ballarat North and Redan typically include formal gardens in its front setback with groundcover and shrub vegetation with some small trees. Vegetation has been removed from various sites to accommodate infill development. Landscaping works to extensively remove vegetation is considered 'moonscaping' and is a key threat for the existing vegetation of these areas.
- In the more recently developed areas of the City of Ballarat, including Winter Valley and Alfredton, street trees are intermittent and minimal vegetation in front setbacks is often the only vegetation visible from the public realm. Small front and side setbacks are a threat to the continued planting of vegetation and provision of deep soil areas for canopy trees.
- Native vegetation is prominent in Mount Pleasant, Black Hill and Brown Hill, particularly in the areas that interface with Yarrowee River. These areas are impacting by environmental overlays that restrict vegetation removal.
- Significant vegetation exists in Mount Helen and Mount Clear and often permeates across lot boundaries.



Street trees in Ballarat East

Photos by Ethos Urban



Dwelling sitting with the vegetation in Brown Hill

4.4 Topography and Views

- The occasionally undulating topography in Ballarat North and Soldiers Hills affords attractive views to the skyline of the CBD with the rural landscape in the background. Large scale developments in the north of the Ballarat CBD with high building heights would threaten the retention of these views.
- Development in Brown Hill and parts of Black Hill and Nerrina benefit from views to nearby bushland reserves that provide an attractive backdrop that is important to the character of these areas. Increased height and scale of development in these areas can detract from the attractiveness of the area by encroaching on key view lines.
- Alfredton, Winter Valley, Sebastopol and Delacombe have a generally flat topography that enables views to the rural landscape to the south east of the City of Ballarat.
- The sites facing Lake Wendouree have been developed to maximise views to the lake and its associated open space. These views are important to the character of Lake Wendouree and its residents. Development of more than two storeys on the lots facing Lake Wendouree would threaten lakeside views from adjoining streets.



Views to Ballarat CBD from Soldiers Hill
Photos by Ethos Urban



Vegetated backdrop in Brown Hill

4.5 Contemporary Infill Development

- Infill development is prominent across the City of Ballarat, often using architectural styles and material palettes that contrast with existing development.
- The prominence of infill development is more obvious in Ballarat East and adjacent to the Ballarat CBD where higher densities of development can occur to capitalise on the wider range of services that are accessible in these areas. This infill development can often contrast quite significantly with the predominant heritage built form that exists in these areas.
- Infill development that uses a material palette of washed brickwork and timber cladding has less of a contrast to the streetscape and can compliment surrounding heritage buildings.
- Infill development in Ballarat Central includes apartment developments which have been strategically located in areas of flat topography and existing multilevel buildings. New large scale buildings that protrude above the predominant low scale built form would threaten character.



Infill development in Ballarat East
Photo by Ethos Urban

4.6 Dominant fencing styles

- Front fencing styles differ throughout the City of Ballarat. Despite this, there is an overarching preference for fencing styles that allow views to front gardens from the street.
- Typical picket fencing is common in Ballarat East, Ballarat North and Soldiers Hill. Picket fencing is often no more than 1.2m in height and provide views to the dwelling when viewed from the street. New development in these areas often replicates the 1.2m height but uses materials that are less transparent and restricts views to front gardens.
- Low brick fencing is particularly common in Redan and Newington. The low brick fencing would not exceed 0.5m and creates a sense of openness between the front yards of dwellings and the streetscape. New developments in Redan and Newington include high and solid fencing that disrupts the streetscape and reduce views to front gardens.
- Front fencing is generally absent in Mount Helen, Brown Hill and parts of Mount Pleasant, Mount Clear and Black Hill. In these areas vegetation is typically used to define the front boundary of the site rather than fencing. High and solid fencing in these areas would reduce the dominance of vegetation in the streetscape and are a threat to the overall streetscape character.
- Wire fencing or no fencing is common in the areas that interface with the Farming Zone, including Cardigan and Learmouth.
- Higher fencing of up to 1.5m is more common on sites fronting busy roads or to adjoining lots with non-residential uses.



Low brick fencing in Delacombe
Photos by Ethos Urban



Vegetation is used instead of fencing in Brown Hill

4.7 Location of Car Parking and Storage

- New development throughout the City of Ballarat typically include onsite car parking, usually with a garage, to avoid the use of on street car parking.
- In Ballarat East, it is uncommon to have a garage or car parking space per dwelling. The streetscape of Ballarat East includes generous space for on street car parking. New development that includes a garage on the front façade would disrupt the dominant streetscape pattern and facilitate an architectural style that is inconsistent with existing buildings.
- Garages are typically provided in line with the front façade of more recently constructed dwellings. Garages often dominate the façade of dwellings, particularly in Delacombe, Sebastopol, Alfredton and Winter Valley.
- The older housing stock in Redan, Newington and Mount Pleasant often includes a single garage. Otherwise, car parking is located in the driveway. Dwellings in these areas often have more than one car which results in cars being parked in front gardens and on the street. This makes car parking a dominant feature for these areas and reduce the space to be used for landscaping.
- Dwellings with larger lot areas, particularly in Cardigan, Miners Rest and Brown Hill, have garages that are often in line with or set back from the façade of the dwelling and occasionally include informal car parking areas in the front setback.



Garage in front setback in Delacombe
Photos by Ethos Urban



Car parking in front yard in Brown Hill



5.0 Performance of Existing Settings

5.1 VCAT Cases Summary

The following is a summary of a selection of VCAT cases relating to neighbourhood character in Ballarat. The key implications for this Study are outlined below.

All five VCAT cases reviewed raised concerns over proposed development in residential locations that were not subject to either an SLO, a DDO or a schedule to a residential zone that outlined specific Neighbourhood Character Objectives.

In one case only, the City of Ballarat and VCAT were both satisfied with the application's expected outcome. The proposal was found to be consistent with the RGZ and policy directions that acknowledge a change in preferred character as a result of support for more intensive development. VCAT supported City of Ballarat decision. City of Ballarat had issued a Notice of Decision to grant a permit following objections received and VCAT supported City of Ballarat decision.

In three instances, City of Ballarat refused to grant a permit raising concerns with built form elements including scale, intensity, landscape values, poor ecology and bushfire considerations, and rural vistas.

In one instance, VCAT reaffirmed City of Ballarat refusal to grant a permit on the grounds that the proposed subdivision did not adequately respond to the requirements of the ESO5, BMO and VPO1.

However, in two of these cases VCAT was satisfied that the proposals were consistent with the local policies and strategic directions and balanced the existing and preferred outcome for the sites. The role of Clause 71.02-3 in balancing conflicting objectives was highlighted.

In another case, City of Ballarat sought to approve a proposal within a Heritage Overlay on the grounds that the proposal was consistent with strategic directions that seek to accommodate residential growth. A previous appeal was cited, which raised the lack of metrics to exercise discretion in applications within a Heritage Overlay that achieve policy objectives. However, VCAT was not satisfied that the proposal would achieve acceptable heritage and character outcomes.

The following table summarises the relevance of each case for this Study.

CASE	RELEVANCE TO NEIGHBOURHOOD CHARACTER
Monsien Holdings Pty Ltd v Ballarat CC [2019] VCAT 324	This case tested the concept of higher-density development within the Convenience Living Corridor in a GRZ1.
Liu v Ballarat CC [2020] VCAT 756	This case tested the concept of higher-density development within the Convenience Living Corridor in a GRZ1 and subject to a HO166.
New Home Shop Pty Ltd v Ballarat CC [2024] VCAT 313	This case tests a subdivision within the NRZ1, subject to ESO5, BMO and VPO1, and the Canadian Valley Outline Development Plan.
Howlett v Ballarat CC [2023] VCAT 340	This case considers a higher-density development within the RGZ.
Pilmore v Ballarat CC [2023] VCAT 568	This case considers a three lot subdivision in an Ongoing change area and within the Canadian Valley Outline Development Plan..

The key gaps in the Planning Scheme identified in these cases are related to:

- Lack of specific Neighbourhood Character Objectives and guidelines in residential zone schedules.
- Lack of character and built form guidance when exercising discretion in applications under a Heritage Overlay.
- Lack of guidance in local policy that informs preferred character outcomes.

Further details of each VCAT case are included at **Appendix C**.

5.2 Bushfire Management

Bushfire Management Overlay and the Bushfire Prone Area Designation

Much of Ballarat is a Designated Bushfire Prone Area (BPA) under section 192A of the Building Act 1993 and sections of the municipality are also subject to a Bushfire Management Overlay (BMO).

Exemptions apply to buildings built prior to 10 September 2009 and are set out in clause 52.12 (Bushfire Protection: Exemptions). The exemptions apply regardless of whether a permit is required to remove vegetation under any other provision of the planning scheme (e.g. clause 52.17: Native Vegetation, Vegetation Protection Overlay, Environmental Significance Overlay or the like). That is, the exemptions trump all other planning permit triggers, meaning that the City of Ballarat does not have the power to prevent the removal of vegetation covered by the exemptions. For land within the BMO, any vegetation can be cleared within 10 metres of buildings used for accommodation plus any vegetation (except trees) within 50 metres, provided that it was constructed or approved before September 2009.

For land mapped as BPA, vegetation can be cleared within 10 metres of a building used for accommodation plus any vegetation (except trees) within 30 metres.

Clause 52.12-2 also provides for an exemption allowing the removal of vegetation from along a fence for a combined maximum width of four metres either side.

While allowing residents to mitigate bushfire risk on their properties is integral to the protection of human life anecdotal evidence suggests that an unfortunate consequence is the impact on neighbourhood character. The cumulative impact of vegetation removal from individual properties poses a threat to the highly valued 'treed' character of Ballarat.

BMO and BPA Map

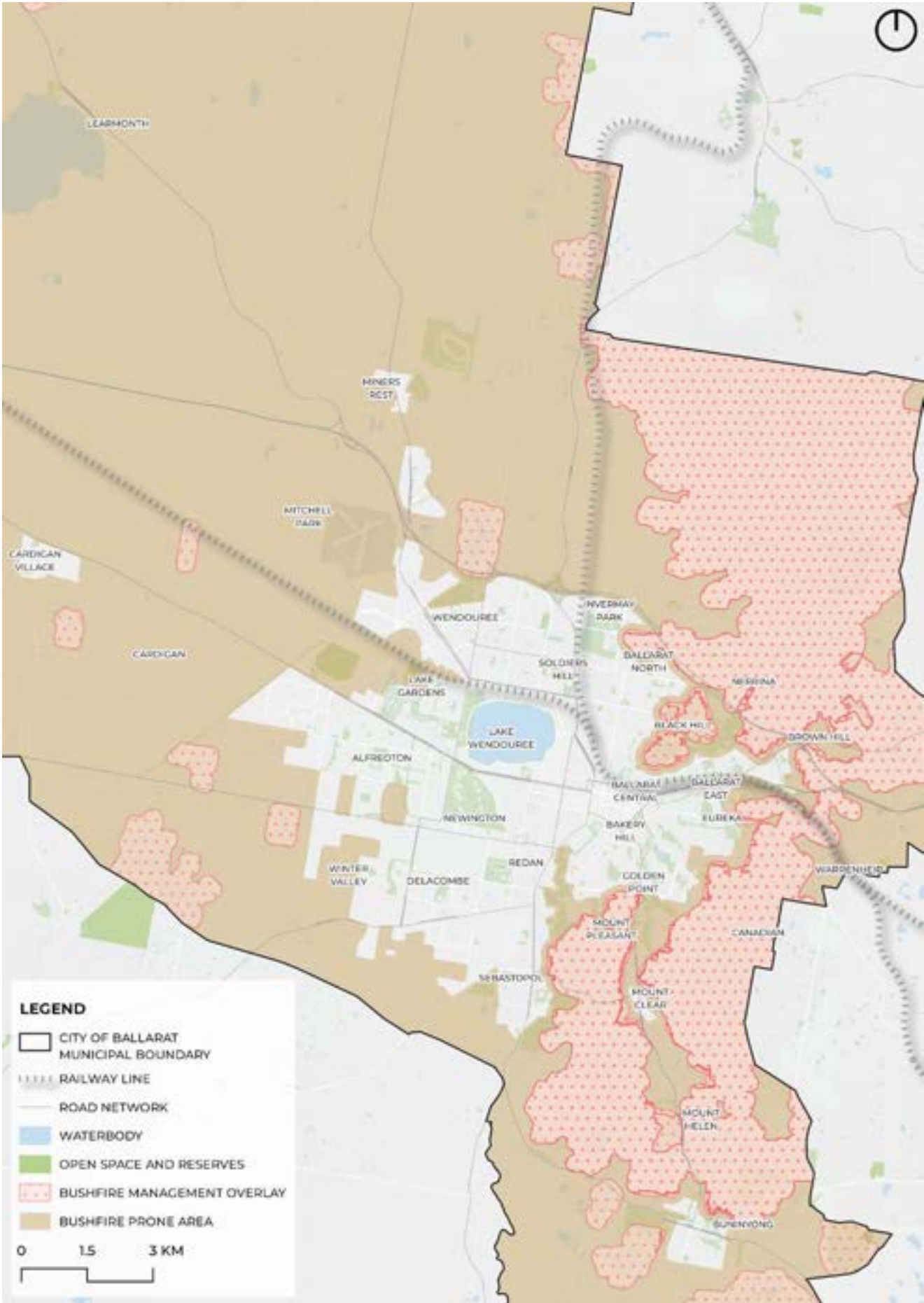




Photo by Ethos Urban

6.0 Housing Strategy

6.1 Ballarat Housing Strategy 2041

The Ballarat Housing Strategy 2041 provides the City of Ballarat with a framework for managing population and housing growth for the next 15 years across the City of Ballarat.

The strategy envisions a population growth of 55,000 additional residents in Ballarat by 2041, who will need to be accommodated in 29,000 additional dwellings. The City of Ballarat has a responsibility to ensure existing and future residents have access to safe, comfortable, well-located homes that are designed to meet high environmental standards and respect the unique heritage character of the city and townships. The Housing Strategy has been prepared to respond to these challenges.

The Housing Strategy outlines three types of Change Areas (Figure 21) that should be applied when considering accommodation of population growth.

- **Substantial Change Areas** will see a significant change to their neighbourhood character. Higher density residential development is suitable in these areas, which are well-connected to services and amenities. Appropriate development will comprise of a mix of apartments and townhouses up to six storeys high, offering high quality and environmentally sustainable design. More intensive development is encouraged through site consolidation.
- **Incremental Change Areas** will accommodate additional residential development given their location within close proximity to services and amenities. Appropriate development will see smaller

dwellings designed in a way that respects identified heritage values and increases diversity of dwelling typologies and bedroom sizes. Neighbourhood character in these areas will evolve progressively as additional dwelling density is achieved, with massing of generally single and two storeys suitable.

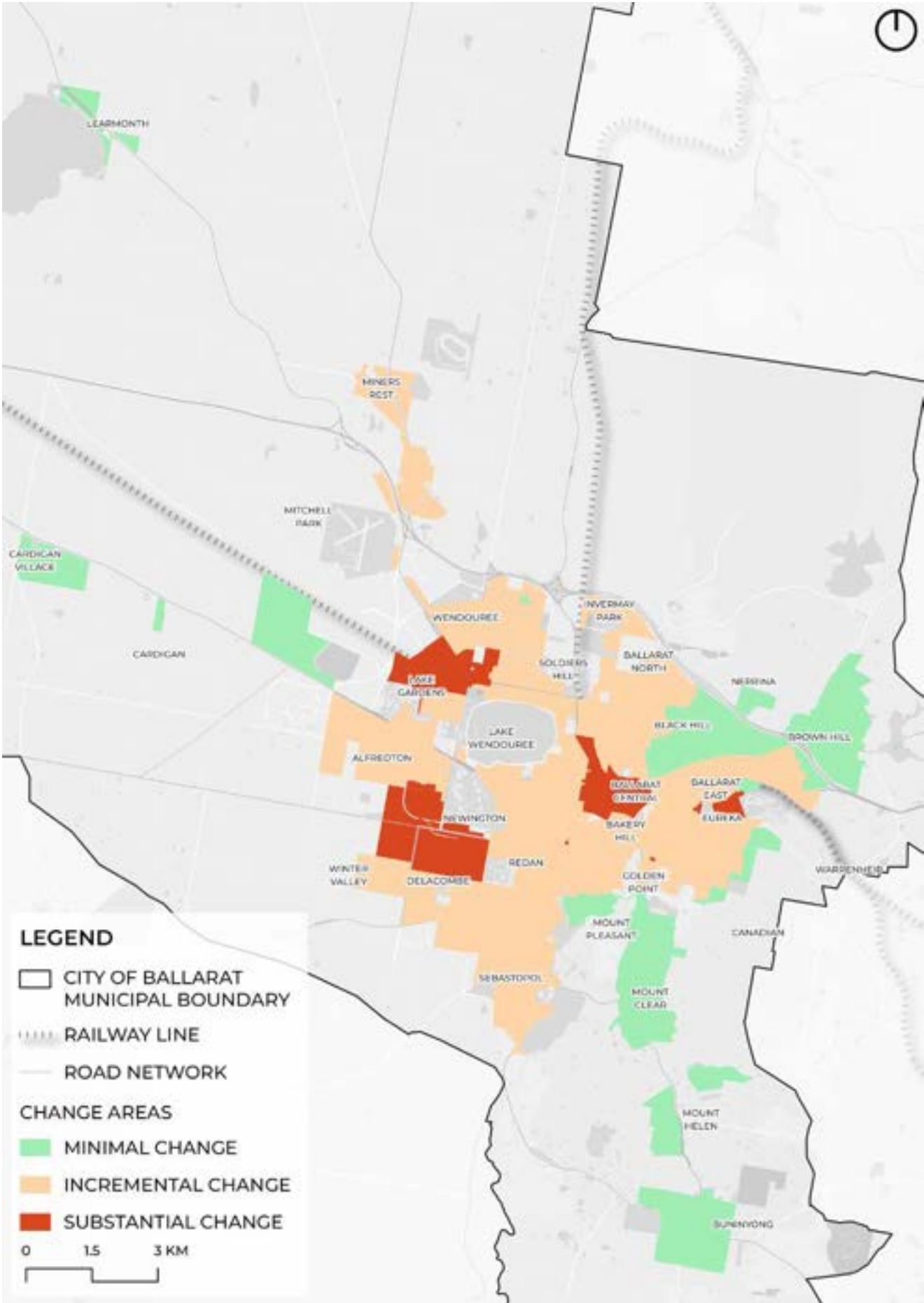
- **Minimal Changes Areas** will accommodate no additional residential development beyond what can be done under the current planning controls, and no increase in existing density patterns will be promoted. Future zone and overlay controls to come from the application of Change Areas will be determined through the future Residential Zone and Overlay Reform Project. Improved bushfire protection measures and opportunities for associated improved biodiversity outcomes are needed. Estimates of how many dwellings per hectare can be achieved in these areas have been applied and have given an indication of the potential Zone(s) that may be applied to these areas in future.

The Housing Strategy was prepared alongside this Neighbourhood Character Study which together will be used to identify what locations are best suited to accommodate more new housing.

Further community consultation occurred to seek feedback on both the Updated Draft Housing Strategy and the Updated Draft Neighbourhood Character Study.

The outcomes of this community consultation were used to prepare the Final Housing Strategy and Neighbourhood Character Study.

Draft Housing Change Areas



7.0 Updated Neighbourhood Character Types

This section outlines the updated neighbourhood character areas identified within the City of Ballarat as part of the desktop analysis and site surveys undertaken for this Study.

These updated neighbourhood character areas also reflect the key values identified through community consultation undertaken in 2020 and 2023.

Six Neighbourhood Character Types were identified across the existing residential areas in Ballarat:

- Bush Residential
- Garden Court
- Garden Residential
- Lakeside Garden
- Rural Residential
- Urban Core

Character Sub Types are included for Bush Residential, Garden Court, Rural Residential and Urban Core Character Areas. While still exhibiting the overarching character type, each subtype includes distinct attributes relevant to character in these areas.

The following table provides an overview of the updated character areas identified by this Study and also demonstrates the key differences between each area and sub type.

Table of Neighbourhood Character Types

Bush Residential 1	Bush Residential 2
	

Photos by Ethos Urban

- Features a mix of architectural styles from the late Victorian period to the late 20th century.
- Moderately sized lots with front and side setbacks ranging from typical to generous.
- Views to surrounding creek corridors and bushland.
- Predominantly informal landscaped gardens.
- Streets following an informal street layout, featuring a mix of sealed and unsealed roads with no footpaths.
- Flat to sloping topography.

- Features Post-war, modern and occasional Contemporary dwellings.
- Moderately sized lots and typical front and side setbacks.
- Intermittent views to surrounding bushland.
- A mixture of informal and formal landscaped gardens.
- Curvilinear street layout with sealed roads.
- Undulating to Sloping topography.

Garden Court 1



- Predominantly late 20th century, interwar and post war style dwellings.
- Streets follow both grid and curvilinear layouts with court bowls.
- Low levels of vegetation in front gardens.
- Predominantly flat topography.
- Fencing is absent or low.

Garden Court 2



Photos by Ethos Urban

- Predominantly Modern and Contemporary Style Dwellings.
- Predominantly single storey.
- Minimal front and site setbacks.
- Low levels of establishing vegetation and formal planting styles.
- Predominantly flat topography.
- Absence of front fencing.

Garden Residential



- Predominantly interwar and postwar styles with occasional contemporary infill development.
- Enclosed views along tree-lined streets and avenues.
- Sealed roads with gravel shoulders.
- Single storey with occasional double storey development.
- Flat to sloping topography.

Lakeside Garden



Photos by Ethos Urban

- A mix of single, double and three storey development.
- A mix of architectural styles.
- Established front gardens.
- Front setbacks range from minimal to general depending on the building style, with minimal side setbacks.
- Built form designed to maximise views to Lake Wendouree.

Rural Residential 1



- Large lots and floor plates.
- Generous front and side setbacks.
- Dwellings are oriented parallel to the street.
- Low to medium level of established vegetation and expansive grass lawns.
- Low or no front fencing.
- Views to surrounding farmland and nearby settlements.

Rural Residential 2



Photos by Ethos Urban

- Large lots and floor plates.
- Long, unsealed driveways.
- Inconsistent siting of dwellings.
- Spacious setbacks.
- Low or no front fencing.
- Significant level of remnant native trees in private and public realm.

Urban Core 1



- Mixture of Victorian, Edwardian, Inter-war and Post-war styles.
- Low to medium levels of established vegetation.
- Typical front setbacks with minimal side setbacks.
- Gridded street layout featuring wide sealed roads.
- Scale of dwellings responds to the presence of heritage dwellings.
- Footpaths generally present on both sides.

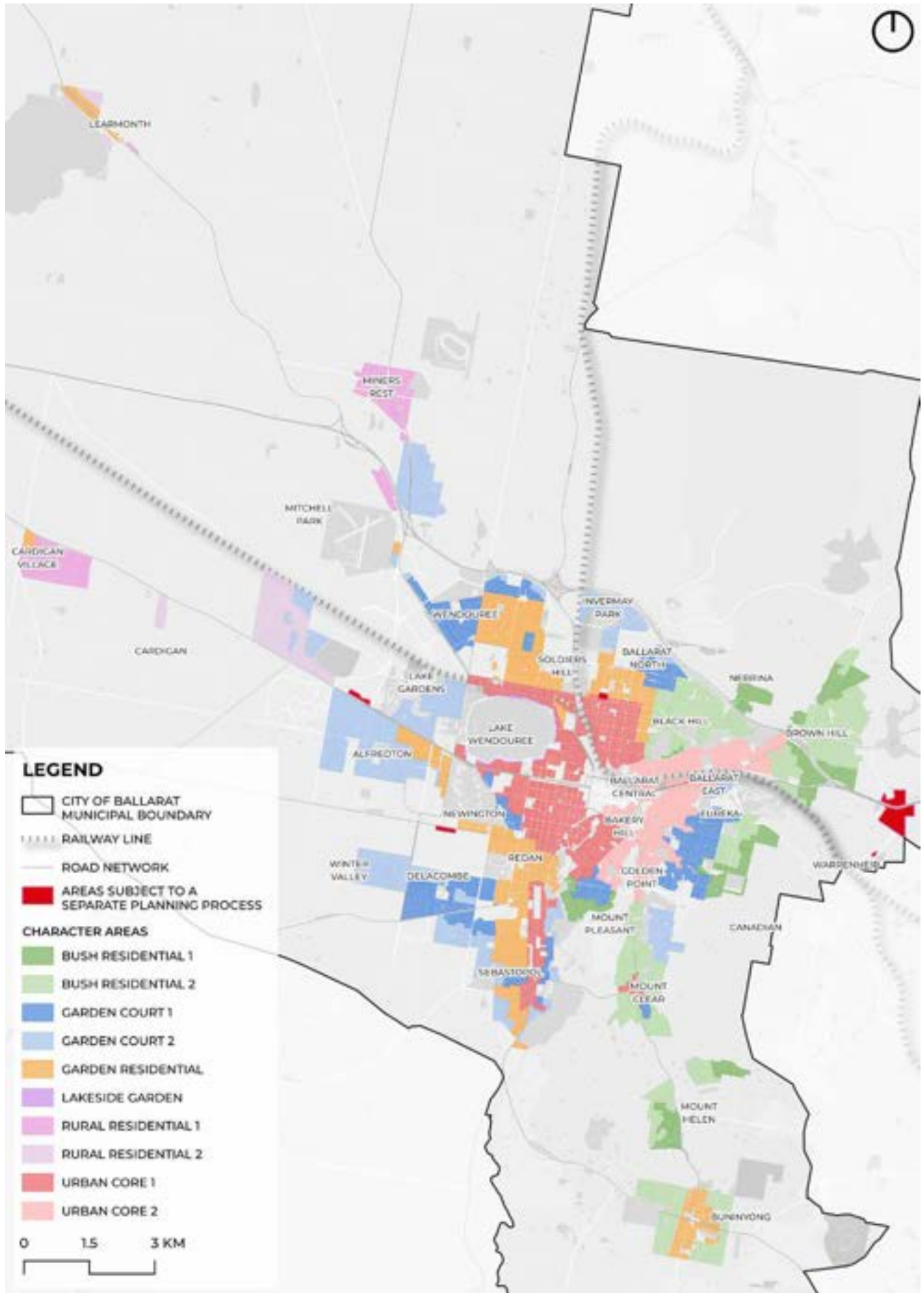
Urban Core 2



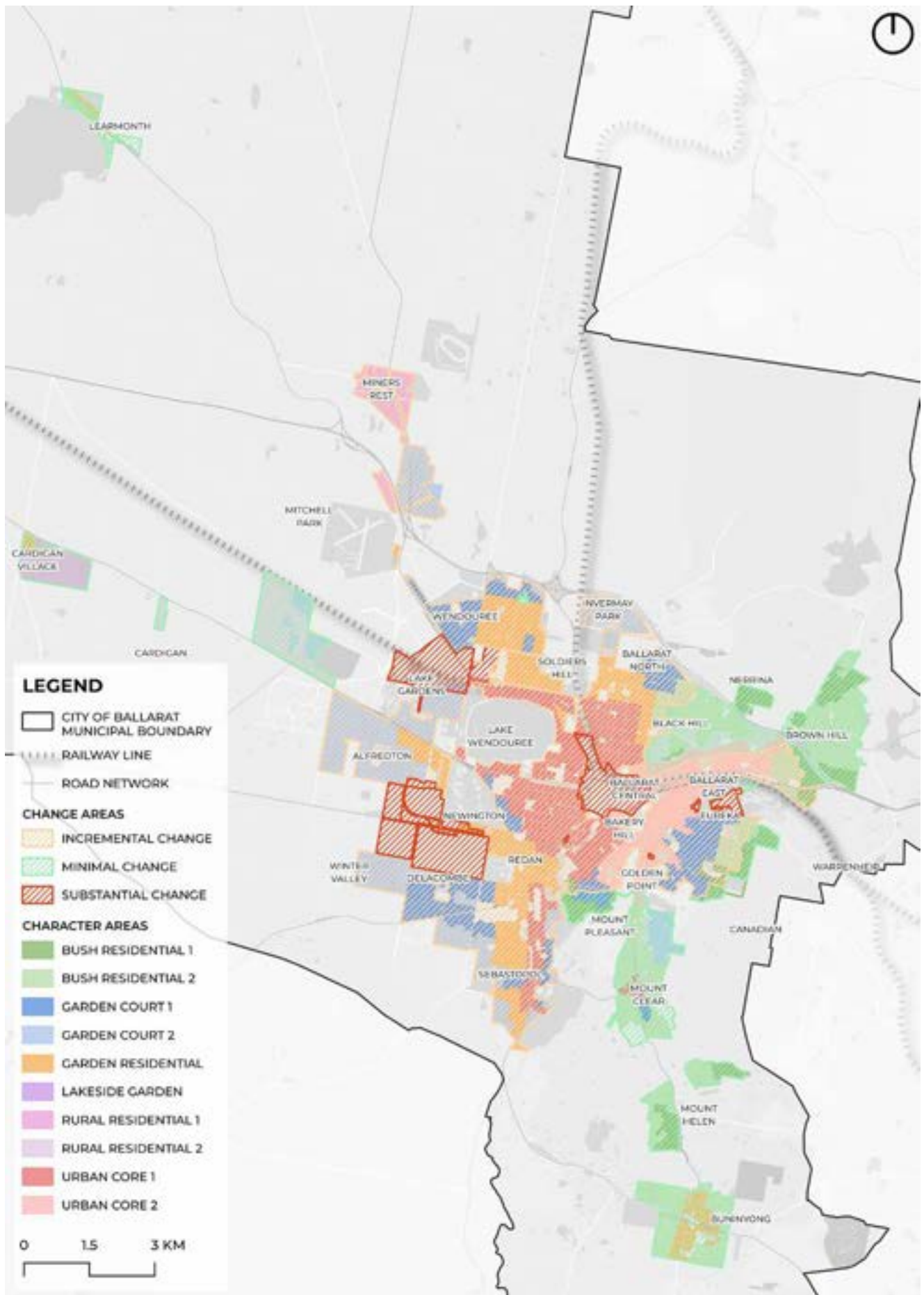
Photos by Ethos Urban

- Mixture of Victorian, Edwardian, Inter-war and Post-war styles.
- Front gardens contain formal planting styles.
- Predominantly weatherboard and brick dwellings with a neutral colour palette including browns, greys, cream and white.
- Minimal to typical front setbacks and minimal side setbacks.
- Buildings are predominantly detached single dwellings with some semi-detached.
- Footpaths are generally present on one side.

Character Areas



Character Areas and Change Areas





8.0 Neighbourhood Character Precinct Profiles

8.1 What is preferred Neighbourhood Character?

As outlined in Planning Practice Note 90, under clause 54 and clause 55, new development should respect the existing neighbourhood character or contribute to a preferred neighbourhood character. Preferred neighbourhood character is either:

- The existing character of an area.
- An identified future neighbourhood character different from the existing character of an area.

Where the existing neighbourhood character is the preferred neighbourhood character, it is important to identify the existing features and characteristics of the area to be respected.

A preferred neighbourhood character statement can articulate the valued features and characteristics of an area to be respected by new development. There is no prescribed format for a preferred neighbourhood

character statement. Its form will depend on several factors including the features and characteristics of an area or municipality, the housing outcomes sought, and the views of the local community.

It is important that preferred neighbourhood character statements are 'forward-looking' so that if an area is identified for increased housing growth, the growth is not undermined by neighbourhood character policies that seek to maintain the existing neighbourhood character.

8.2 How to read the Character Precinct Profiles

Neighbourhood character precinct profiles have been prepared for each neighbourhood character area identified within the City of Ballarat. Each profile provides a summary of the character area with associated character objectives and design guidelines to provide guidance for future development, ensuring that it reflects the preferred character as best as possible.

The precinct profiles include:

- Character Description
- The Preferred Character Area Map
- A summary of key character attributes
- Preferred Character Statement
- Preferred Character Objectives
- Design Guidelines
- Example Images

Neighbourhood Character Objectives and Design Guidelines

The purpose of the character objectives and design guidelines is to provide clear direction and guidance on built form outcomes based on preferred neighbourhood character outcomes.

In alignment with Planning Practice Note 91, the Preferred Character Statement directly informs the five design objectives per character area, which can be specified in a schedule to a residential zone to implement the preferred neighbourhood character.

A number of character areas include additional objectives and guidelines for areas that have been identified for incremental and substantial change in the City of Ballarat's Housing Strategy. For each character areas, objective 5 will be replaced with an additional objective when referring to new development located in the areas identified for Incremental and Substantial Change.

Effective design guidelines should be used as a basis for Council planners when assessing planning applications. Design guidelines that are to be translated into a zone schedule, to vary ResCode standards, should be enhanced by including specific details of the schedule changes (i.e. permeability, site coverage, front and side setbacks).

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Topography • Vegetation • Views
Public realm and streetscape	<ul style="list-style-type: none"> • Street layout • Street trees • Footpaths • Drainage • On-street parking
Architectural style	<ul style="list-style-type: none"> • Architectural style/age of buildings • Roof styles
Dwelling typology	<ul style="list-style-type: none"> • Single/detached
Building height and scale	<ul style="list-style-type: none"> • Number of storeys • Lot size • Site coverage
Building orientation and layout	<ul style="list-style-type: none"> • Parallel/inconsistent
Building materials	<ul style="list-style-type: none"> • Walls • Roofs • Colours
Setbacks	<ul style="list-style-type: none"> • Front • Side
Garden style	<ul style="list-style-type: none"> • Low, medium or high levels of vegetation • Native / exotic • Formal / informal
Car parking and outbuildings (where relevant)	<ul style="list-style-type: none"> • Garage / carport • Driveways sealed / unsealed • Location of garage
Front boundary treatment	<ul style="list-style-type: none"> • Front fencing height • Front fencing materials



Photo by Ethos Urban

8.3 Bush Residential 1

Character Description

Bush Residential 1 (BR1) Areas typically comprise low density residential development on the edge or within existing bushland. Topographically, BR1 areas are located on sloping land or low lying areas at the base of a hillside or slope. Surrounding bushland tends to enclose these areas, limiting views, but filtered visibility of distant landscapes including the Yarrowee River and adjacent creek corridors are available in some areas. Streets largely take an irregular, curvilinear form, responding to the high presence of vegetation. Unsealed roads are a feature, with grassed shoulders and usually no formal footpaths or drainage.

Dwellings are from the Interwar period until the late 20th century, with a mix of styles from these eras. Dwellings are detached and predominantly single storey, with occasional double storey development. Site coverage is low, enhancing the bushland setting.

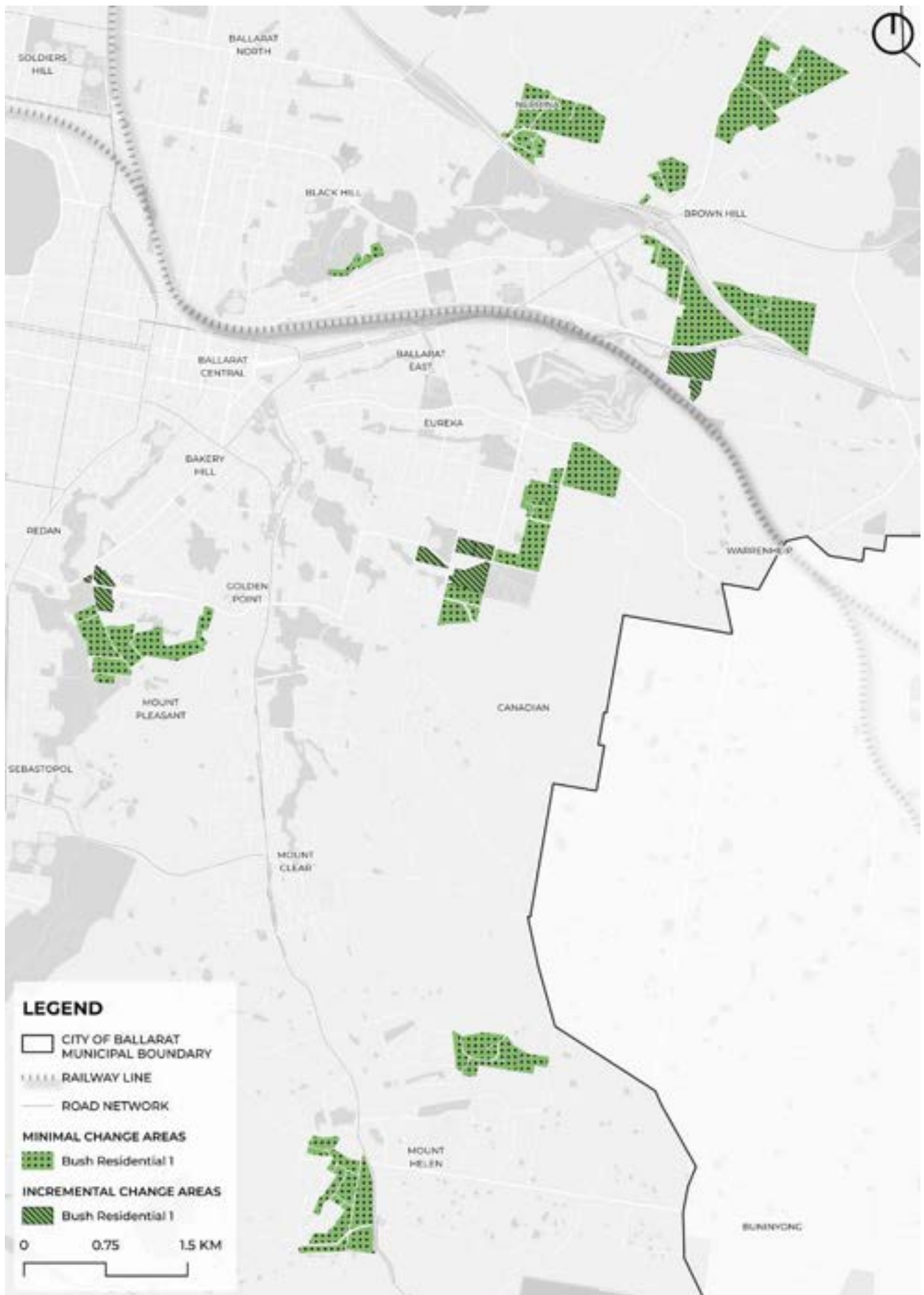
Buildings' orientations to streets are varied, responding to existing vegetation, particularly in areas that are sloping. Dwellings are prominently constructed of brick or weatherboard featuring hipped or gabled roof styles.

Front and side setbacks are generous supporting large established gardens. Front gardens often feature a mix of native and exotic trees, medium shrubs, and remnant native canopy. Parking structures are generally obscured behind dwellings and vegetation, or built into more recently constructed dwellings. Front boundary treatment is usually comprised of vegetation or occasional low, semi-transparent fencing.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Relatively flat terrain exists in Black Hill and the low lying areas of Mount Pleasant, whilst sloping terrain is present in Nerrina, Brown Hill, Little Bendigo and the fringes of the residential areas in Ballarat East, Canadian and Mount Helen. • Dwellings are enclosed by bushland, offering views through to tree canopies in the surrounding area.
Public realm and streetscape	<ul style="list-style-type: none"> • Views are afforded to the Yarrowee River and adjacent creek corridors. • Medium to high level of intermittent street trees in the public realm with a high level of dense canopy present in the surrounding bushland. • Streets following a generally informal layout and feature a mix of sealed and unsealed roads and no footpaths. • Informal swale drainage with kerbs present in some areas. • Minimal delineation between the public and private realm.
Architectural style	<ul style="list-style-type: none"> • Mix of architectural styles from the interwar period through to the late 20th century. • Front façades are articulated with the use of verandahs, windows and porch entries.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey. • Mix of medium to large lot sizes, generally between 650m² to 1900m². • Variety of site coverage, from 10% to 50%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are generally orientated parallel to the street.
Building materials	<ul style="list-style-type: none"> • Predominantly weatherboard or brick. • Predominantly hipped roof forms constructed of metal or tile. • Muted colours palette of earthen and bushy tones, including various greens, browns, greys and cream.
Setbacks	<ul style="list-style-type: none"> • Front setbacks generally range from 5m to 7m. Occasionally dwellings are setback 10+m from the street, particularly on properties located in Brown Hill, Ballart East and Canadian. • Side setbacks range from 2m to 3m.
Garden style	<ul style="list-style-type: none"> • Front gardens contain high levels of native and exotic vegetation. • Some gardens feature remnant native trees and a mix of native and exotic shrubs.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is typically detached and located behind the front façade. • Recent infill dwellings have integrated garages aligned with the front facade. • Driveways are typically unsealed.
Front boundary treatment	<ul style="list-style-type: none"> • A predominant absence of front fences. • Where a fence is provided it is typically low, semi-transparent, and up to 1.2m in height constructed of timber or post and rail or wire.

Preferred Character Area Map

Bush Residential 1 Character Areas



Preferred Character Statements

All Areas

Streetscapes are dominated by large indigenous and native canopy trees with supporting undergrowth.

Dwellings are sited within the highly vegetated landscape that consists of informal indigenous and native plantings which flourish in a spacious bushy setting.

View corridors to the Yarrowee River and adjacent creek Corridors, surrounding bushland are retained. Often formalised footpaths are not present. A mix of sealed and unsealed roads wind informally through well vegetated areas with minimal delineation between public and private realms.

New development positively responds to the predominantly low scale, single storey dwellings using natural materials, a muted colour palette of earthen and bush tones, and simple building forms to fit within the heavily vegetated setting.

Generous front and side setbacks provide for high levels of indigenous and native vegetation which embrace remnant canopy and amenity trees, and screen dwellings from view.

Garages and carports are hidden from view, often located behind the line of the front dwelling façade and are integrated with the design of the dwelling.

Absent, low or transparent, front fencing contributes to the bushy and informal transition between public and private realms.

Incremental

Streets in Incremental Change areas will support a low to medium scale built form which respond to the existing built form that sits within the highly vegetated setting, utilising natural material and a muted colour palette consistent with existing dwellings and the surrounding landscape.

Neighbourhood Character Objectives

All Areas

1. To ensure that new buildings and extensions do not dominate the streetscape and sit within the vegetated landscape.
2. To maintain and strengthen the spaciousness and bush setting surrounding dwellings, minimising disruption to existing indigenous and native canopy trees and other plant species.
3. To retain the bushy informal transition of public and private realms, characterised by absent or permeable low front fences.
4. To maintain and enhance views corridors to the Yarrowee River and adjacent creek corridors, surrounding bushland and the vistas, streetscapes, and backdrops of the precinct, characterised by indigenous and native canopy trees and lush understoreys of shrubs and grasses.
5. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings and simple building forms, utilising a muted colour palette of earthen and bush tones sympathetic to the highly vegetated setting.

Incremental

To ensure the low to medium scale built form positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and a consistent material palette.

Photos by Ethos Urban



Brown Hill



Brown Hill



Mt Pleasant



Brown Hill

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the design of existing dwellings, utilising natural materials and a muted colour palette of earthen and bush tones, particularly darker browns, various greens and greys that complement the bush setting. • Buildings should not penetrate the mature native tree canopy, where a canopy is present. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • Articulate the front façades of buildings through the use of verandahs, windows, doors and porch entries. • Use non-reflective materials and finishes for walls, roofs and windows. • Buildings should provide a pitched roof with prominent eaves.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of native trees and understorey vegetation. • Buildings should be sited to take into account the sharing of view corridors (where present) to the Yarrowee River and adjacent creek corridors, surrounding bushland and the vistas, streetscapes, and backdrops of the precinct.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 3m from one side to retain separation between buildings and enable landscaping.
Incremental	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 2m from one side to retain separation between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing native canopy trees and understorey vegetation and replant where possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of native trees that will grow to a mature height similar of the tree to be removed. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan. • Encourage informal front gardens that predominantly incorporate indigenous vegetation and native canopy trees. • The site area covered by buildings should not exceed 40%. • Provide at least 40% of the site as permeable surface.
Minimal	<ul style="list-style-type: none"> • Provide indigenous canopy trees occurring at a density of one to every 100m².
Incremental	<ul style="list-style-type: none"> • Provide indigenous canopy trees occurring at a density of one to every 150m².
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling facade, ensuring that they are integrated with the design of the dwelling. • Minimise paving in front yards, including the driveway. • Provide only one vehicular crossover per typical site frontage. • Provide landscaping and plantings to the soften the appearance of driveways.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • Encourage vegetated front boundary treatments. • A front fence within 3 metres of a street should provide no or a low, open style up to 1.2m in height, constructed of timber or post and rail or wire.



Photo by Ethos Urban

8.4 Bush Residential 2

Character Description

Bush Residential 2 (BR2) Areas are located within undulating topography dominated by views within and across bushland. Dwellings are of a mix of architectural styles including post war and later development periods with modern and contemporary style developments common in some areas. Pockets of contemporary style dwellings exist in Black Hill, Ballarat North, Buninyong and Brown Hill, whilst there is a mix of older post war and modern style dwellings located in residential areas developed on the ridge running north-south between the Yarrowee corridor and Canadian Creek. Dwellings are predominantly constructed of brick or weatherboard featuring hipped or gabled roof styles.

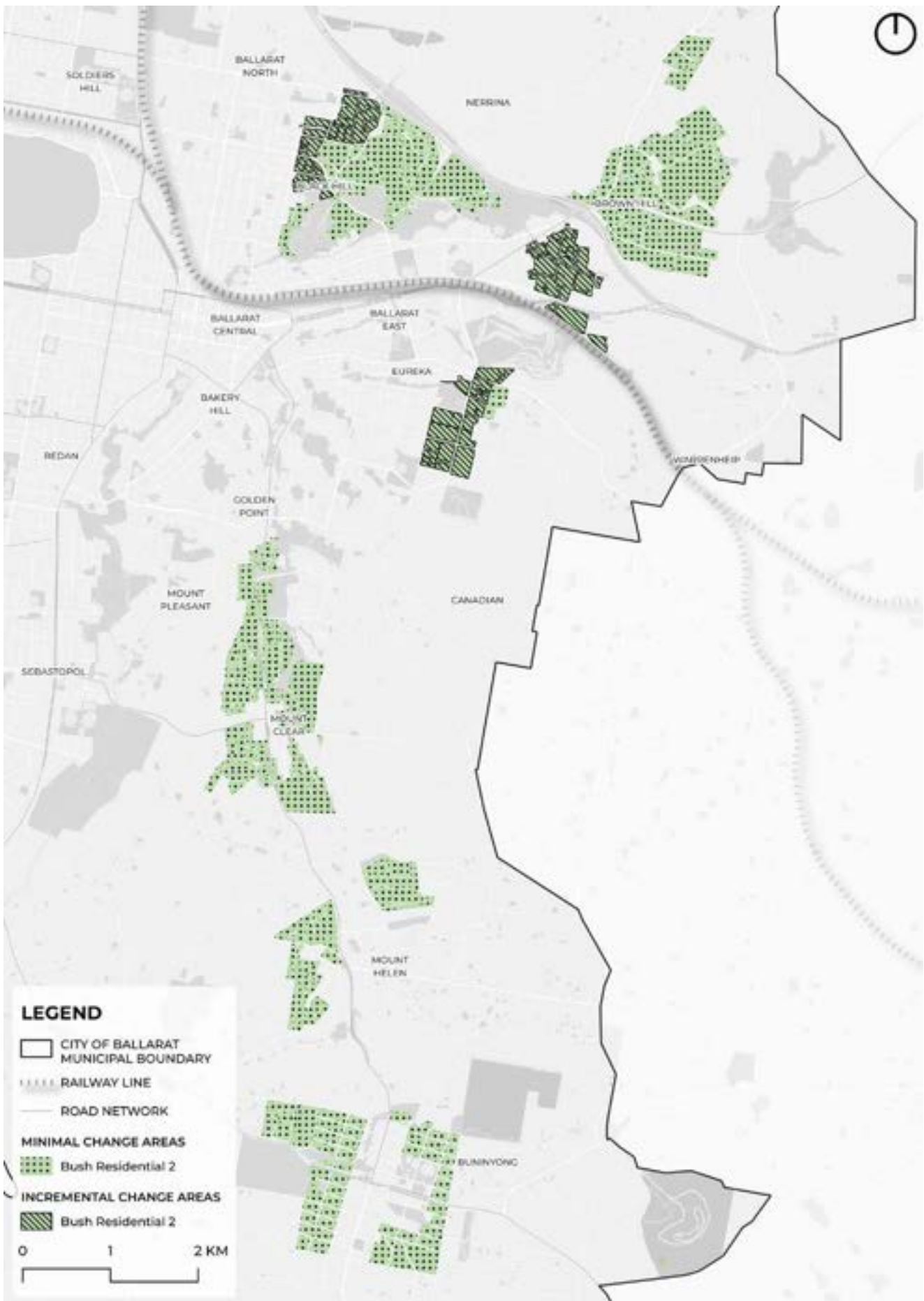
Although there is a mix in styles, all dwellings are sited on moderately sized lots within a sloping, well vegetated landscape with views to surrounding areas. Moderate front setbacks support a high retention and continued planting of vegetation but side setbacks are relatively narrow.

There is a lack of front fencing that promotes an openness to the streetscape and blending of the public and private realm. Roads are generally sealed and include drainage infrastructure in the form of concrete kerbs.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Sloping and undulating topography. • Views within and over the surrounding bushland is achieved at vantage points. • View afforded to the Yarrowee River and adjacent creek corridors and surrounding bushland.
Public realm and streetscape	<ul style="list-style-type: none"> • Irregular and informal mature street trees. • Streets following a curvilinear layout and feature predominantly sealed roads becoming narrow in some areas. • Footpaths are occasionally present on one side. • Drainage infrastructure includes concrete kerb and channel.
Architectural style	<ul style="list-style-type: none"> • Predominantly post war and modern style dwellings with occasional contemporary styles.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are predominantly detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey dwellings with occasional double storey development. • Lot sizes are generally between 700m² to 1000m². • Site coverage ranges from 20% to 50%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street.
Building materials	<ul style="list-style-type: none"> • Predominantly brick with the occasional use of render and weatherboard. • Neutral colour palette sympathetic to the surrounding landscape setting including muted greys, greens, creams and brown. • Predominantly hipped roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 3m to 10m. • Side setbacks range from 1m to 3m.
Garden style	<ul style="list-style-type: none"> • Medium to high level of vegetation in front gardens. • Mix of informally and formally landscaped gardens, comprising a mix of native and non-native plants, and remnant indigenous canopy and amenity trees. • Some dwellings are obscured from view due to dense vegetation.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is in line with or set back from the façade of the dwelling. • Most garages are integrated with the dwelling. • Driveways are typically sealed.
Front boundary treatment	<ul style="list-style-type: none"> • A predominant absence of front fences. • Where a fence is provided it is typically low, semi-transparent and up to 0.8m in height constructed from a mix of materials.

Preferred Character Area Map

Bush Residential 2 Character Areas



Preferred Character Statements

All Areas

Indigenous and native canopy trees and understory planting in the public and private realms, combined with the undulating topography, ensures that dwellings do not visually dominate the streetscape, enhancing the bushy vistas, streetscapes and backdrops of the precinct.

View corridors through to the Yarrowee River and adjacent creek Corridors, surrounding bushland are retained.

New development positively responds to the predominantly low scale building forms, using natural materials and a muted colour palette of earthen and bush tones.

Garages and carports are often located behind the line of the front dwelling façade and are unobtrusive and integrated with the design of the dwelling.

Absent, low or transparent, front fencing contributes to the bushy and informal transition between public and private realms.

Mostly sealed roads wind through the undulating landscape and are dominated by indigenous and native canopy and amenity trees, with a presence of footpaths on one side the street.

Incremental

Streets in Incremental Change areas will support low to medium scale developments which respond to the existing built form that sits within the highly vegetated setting, utilising natural material and a muted colour palette consistent with existing dwellings and the surrounding landscape.

Neighbourhood Character Objectives

All Areas

1. To ensure that new development sits within the existing native tree canopy and provides setbacks that allow for the retention and continued planting of vegetation and trees.
2. To maintain and enhance views corridors to the Yarrowee River and adjacent creek corridors, surrounding bushland and the vistas, streetscapes, and backdrops of the precinct, characterised by indigenous and native canopy trees and lush understoreys of shrubs and grasses.
3. To retain and reinforce the spaciousness and bushy setting of the streetscape, characterised by no or low, permeable front fences with views to front garden areas.
4. To ensure new development uses vegetation to soften the appearance of driveways and locates garages behind or integrated with the façade of the dwelling.
5. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings, utilising a muted colour palette of earthen and bush tones sympathetic to the vegetated setting.

Incremental

To ensure the built form of low to medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and natural materials, utilising a muted colour palette of earthen and bush tones.

Photos by Ethos Urban



Brown Hill



Black Hill



Brown Hill



Brown Hill

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the design of existing dwellings, utilising natural materials and a muted colour palette of earthen and bush tones, particularly darker browns, various greens and greys that complement the bush setting. • Buildings should not penetrate the mature native tree canopy and should be sited below the height of trees along a ridgeline, where a canopy is present. • Buildings should be designed to follow the topography of the land, and minimise the need for cut and fill throughout the site. • Articulate the front façades of buildings through the use of verandahs, windows, doors and porch entries. • Use non-reflective materials and finishes for walls, roofs and windows. • Buildings should provide a pitched roof with prominent eaves.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of native trees and understorey vegetation. • Buildings should be sited to take into account the sharing of view corridors (where present) to surrounding bushland areas and to the Yarrowee River from Brown Hill.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 3m from one side to retain separation between buildings and enable landscaping.
Incremental	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 2m from one side to retain separation between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing native canopy trees and understorey vegetation and replant where possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of native trees that will grow to a mature height similar of the tree to be removed. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan. • Ensure that all retained and proposed trees can reach maturity and are sustained over the longer term. • The site area covered by buildings should not exceed 50%. • Provide at least 40% of the site as permeable surface.
Minimal	<ul style="list-style-type: none"> • Provide indigenous canopy trees occurring at a density of one to every 150m², providing room for at least 1 canopy tree in the front setback.
Incremental	<ul style="list-style-type: none"> • Provide indigenous canopy trees occurring at a density of one to every 200m², providing room for at least 1 canopy tree in the front setback.
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling facade, ensuring that they are integrated with the design of the dwelling. • Minimise paving in front yards, including the driveway. • Provide only one vehicular crossover per typical site frontage. • Provide landscaping and plantings to the soften the appearance of driveways.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • Encourage vegetated front boundary treatments. • A front fence within 3 metres of a street should provide no or a low, open style up to 1.2m in height, constructed of timber or post and rail or wire.



Photo by Ethos Urban

8.5 Garden Court 1

Character Description

Garden Court 1 (GC1) Areas are characterised by low scale dwellings predominantly from the interwar and post-war periods, with the regularity of house design indicating these were master-planned estates. Intermittent contemporary infill is also present. Hipped roofs are common features on detached, single storey dwellings and buildings are predominantly constructed of brick or weatherboard.

Dwellings are generally sited parallel to streets with moderate front setbacks and minimal side setbacks. Topography is predominantly flat. Some areas to the east of the centre of Ballarat are sloping, affording more opportunities for views to other residential areas and surrounding bushland, including the Ballarat North Bushland Reserve and Plantations located in Canadian and Mount Clear. GC1 areas feature curvilinear and cul-de-sac street layouts, generally with footpaths on one side and with some limited tree planting in the nature strips.

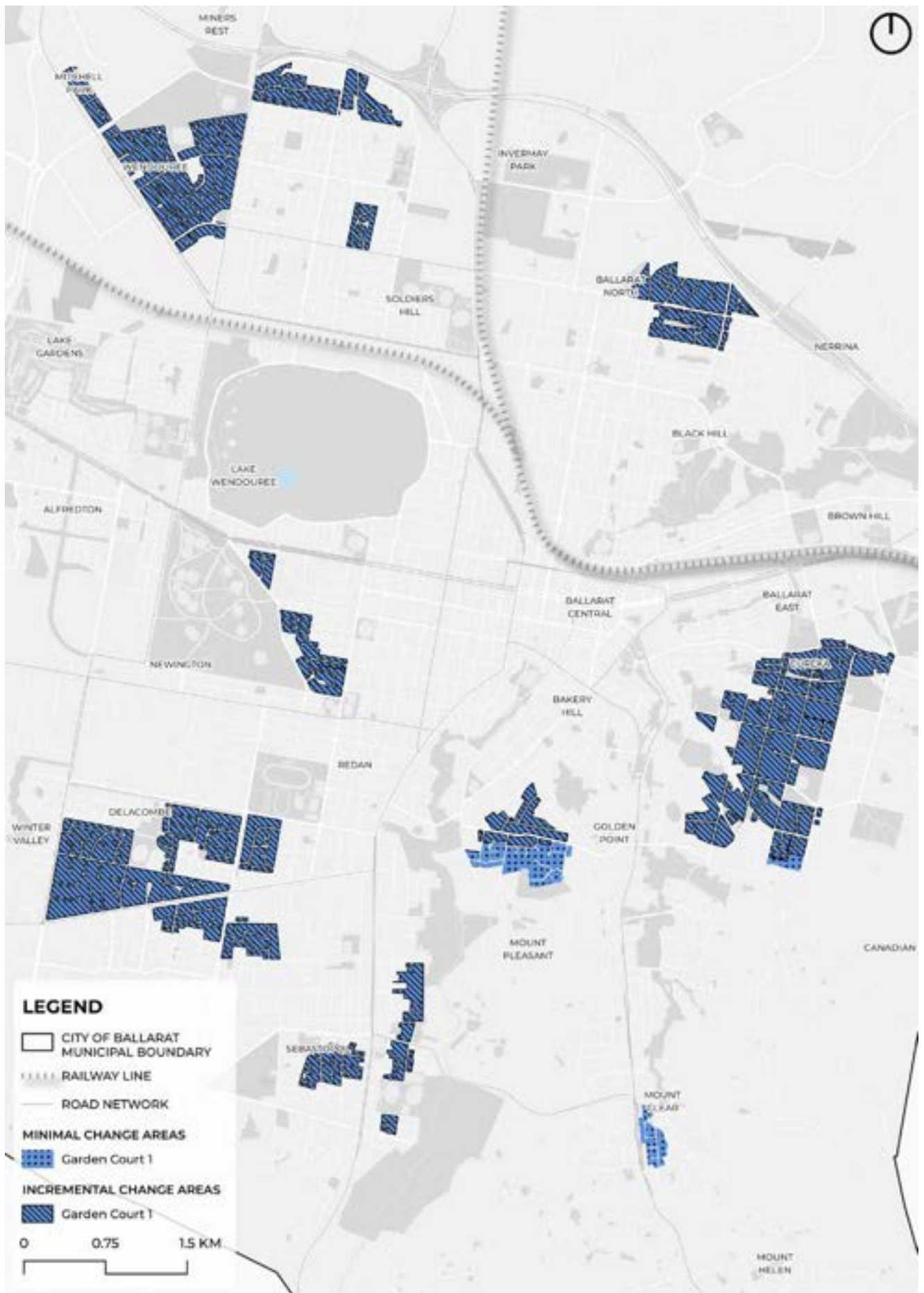
Front gardens are often sparsely vegetated, featuring grassed lawns and minimal plantings of exotic trees or bushes. Most dwellings have off-street parking available, with standalone garages or car ports generally in line with or set behind the façade of the dwelling. Where a fence is provided it is typically low, semi-transparent, and up to 1.2m in height constructed from a mix of materials.

Some areas have a substantially intact character, including the Waller Estate located in Newington. The Waller Estate was predominantly constructed in 1945 to 1961 on empty allotments and is a forerunner of the modern housing estate development that is now common in Ballarat and its distinctive layout and appearance remains substantially intact.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Predominantly flat topography with no dominant view lines. • Some areas to the east of the township are sloping and afford more opportunities for views to other residential areas and surrounding bushland, including the Ballarat North Bushland Reserve and Plantations located in Canadian and Mount Clear.
Public realm and streetscape	<ul style="list-style-type: none"> • General absence of street trees. • Streets follow both grid and curvilinear layouts with court bowls and feature sealed roads. • Footpaths are occasionally present on both sides. • Drainage infrastructure includes concrete kerb and gravel verges.
Architectural style	<ul style="list-style-type: none"> • Predominantly late 20th century, interwar and post war style dwellings.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are generally detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey, but with occasional double storey development. • Lot sizes range from 400m² to 900m². • Site coverage ranges from 20% to 45%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street.
Building materials	<ul style="list-style-type: none"> • Predominantly brick or weatherboard. • Neutral colour palette including browns, greys and cream. • Predominantly hipped and gabled roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 3m to 10m. • Side setbacks range from 1m to 2m.
Garden style	<ul style="list-style-type: none"> • Low levels of vegetation in front gardens. • Typically, front gardens consist of grass lawns and a mix of native and exotic low lying shrubs.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is generally in line or set behind the façade of the dwelling. • Driveways are sealed.
Front boundary treatment	<ul style="list-style-type: none"> • A predominant absence of front fences. • Where a fence is provided it is typically low, semi-transparent, and up to 1.2m in height constructed from a mix of materials.

Preferred Character Area Map

Garden Court 1 Character Areas



Preferred Character Statements

All Areas

New development sits within a formal landscape setting and responds to the built form of existing dwellings, articulated façades and a consistent material palette of brick and weatherboard with neutral tones.

Building separation is compact with moderate front setbacks. New development allows space for increased vegetation planting within the front setbacks adding to formal garden setting.

Absent or low front fences enable views through to dwellings and front garden areas.

Garages and carports are often located to the side of the dwellings and are visually unobtrusive and compatible with the development.

Sealed asphalt roads and consistent spacing of vehicle crossovers provide a sense of formality and order within the precinct.

Incremental

Streets in Incremental Change areas will support low to medium scale developments which respond to the existing built form, massing and styles of older housing stock.

Neighbourhood Character Objectives

All Areas

1. To maintain and reinforce the predominant building alignment along the street, characterised by setbacks that contribute to the sense of openness.
2. To encourage space for increased indigenous and native vegetation planting, including canopy and amenity trees within the private realm, to strengthen the garden setting of dwellings and contribute to the enhancement of the public realm.
3. To ensure new development does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
4. To maintain the openness of the streetscape, characterised by absent front fences.
5. To ensure new development reflects the preferred scale and styles of the precinct, characterised by dwellings from the postwar era which feature well-articulated façades and a consistent material and colour palette of neutral tones.

Incremental

To ensure the built form of low to medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and natural materials, utilising a neutral colour palette including muted browns, greys and cream.

Photos by Ethos Urban



Delacombe



Newington



Newington



Delacombe

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the building materials of existing dwellings such as brick and weatherboard, utilising a neutral colour palette of natural tones, particularly muted browns, greys and creams. • Ensure new development responds to any local heritage plan that has been implemented by the City of Ballarat. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition, ensuring that contemporary design details do not directly mimic older architectural styles. • Use non-reflective materials and finishes for walls, roofs and windows. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Locate habitable rooms and dwelling entrances to face the street where possible.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that create a rhythm in the streetscape and provide for visual breaks and vegetation and planting. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey vegetation. • Buildings should be set back at least 2m from one side boundary and 1m from the other side boundary to retain separation between buildings and enable landscaping.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 3m from one side boundary to retain spacing between buildings and enable landscaping.
Incremental	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 2m from one side boundary to retain spacing between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing indigenous and native canopy trees and understorey vegetation and replant wherever possible. Where indigenous and larger native species cannot be retained on a site, the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Provide landscaping along shared driveways to soften the appearance of buildings, fencing and hardstand areas. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan.
Minimal	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 250m².
Incremental	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 300m².
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape. • Provide only one vehicular crossover per typical site frontage. • Limit the width of vehicle accessways. • Provide landscaping and plantings to soften the appearance of driveways • Minimise paving in front yards, including the driveway. • In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • A front fence within 3 metres of a street should provide no or a low, open style up to 1.2m constructed of materials sympathetic to the surrounding context.



Photo by Ethos Urban

8.6 Garden Court 2

Character Description

Garden Court 2 (GC2) Areas are characterised by modern infill developments primarily built after 1990, often sited adjacent to older housing stock. Some estates are master planned, while other areas located closer to the CBD are smaller subdivisions.

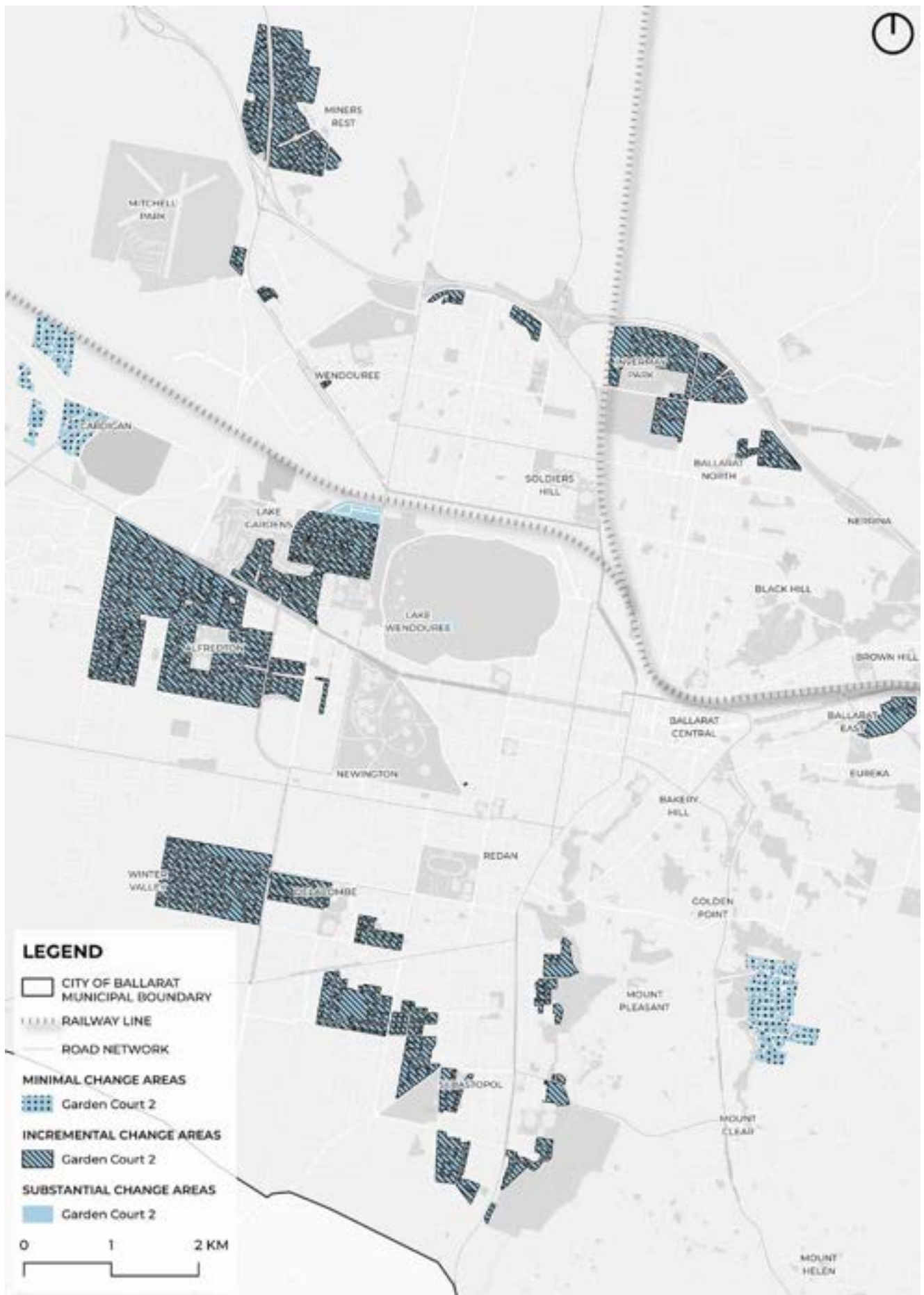
Topography in GC2 areas is relatively flat with views largely contained within the residential areas. The streetscape is defined by curvilinear street patterns complimented by cul-de-sacs. Formal drainage including kerb and channel is present and footpaths generally occur on at least one side. Street trees are generally consistent along the roads and are largely native.

Dwellings are oriented parallel to address the street and often have garages that are in line with and integrated into the façade of the dwelling. Buildings are generally constructed of brick and render and have articulated facades and entrances that provide a sense of address. Materiality and colour palette consists of neutral tones. Front gardens consist of low levels of maturing vegetation and front fencing is mostly absent.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Predominantly flat topography.
Public realm and streetscape	<ul style="list-style-type: none"> • Maturing intermittent street trees. • Streets following a curvilinear layout, include cul de sacs, and feature sealed roads. • Footpaths are occasionally present on one side. • Drainage infrastructure includes concrete kerbs.
Architectural style	<ul style="list-style-type: none"> • Predominantly modern and contemporary style dwellings.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are predominantly detached dwellings.
Building height and scale	<ul style="list-style-type: none"> • One to two storey dwellings.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street. • Lot sizes are between 400m² and 1000m². • Medium to high site coverage ranges from 30% to 60%.
Building materials	<ul style="list-style-type: none"> • Brick and render. • Neutral colour palette including browns, greys and cream. • Predominantly hipped roof forms constructed of metal or tile.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 3m to 10m. • Side setbacks range from 1m to 2m.
Garden style	<ul style="list-style-type: none"> • Low levels of establishing vegetation in front gardens. • Mix of exotic and native formal plantings and grass lawns.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is generally in line and integrated with the façade of the dwelling. • Driveways are sealed and double garages are common.
Front boundary treatment	<ul style="list-style-type: none"> • A predominant absence of front fences.

Preferred Character Area Map

Garden Court 2 Character Areas



Preferred Character Statements

All Areas

New development sits within a formal landscape setting and responds to building design and scale of existing dwellings, using consistent materials of brick and render and a neutral colour palette.

Regular and spacious front setbacks provide space for native plants, canopy and amenity trees and understorey vegetation, to mature and reinforce the garden setting. Low level and formal front gardens, comprising native plantings, flow uninterrupted into the public realm.

Garages and carports are often located to the side of the dwellings and are visually unobtrusive and compatible with the development.

Absent or low front fences facilitate the blending of vegetation between the public and private realms and enable views through to dwellings and front garden areas.

Vistas around street bends and courts are characterised by public spaces featuring native plantings, with a presence of footpaths on one side of the street.

Incremental

Incremental Change areas will support low to medium scale developments that are contemporary in design and feature well articulated façades, consistent setbacks and flourishing front gardens with establishing vegetation.

Substantial

Substantial Change areas will experience increased change through housing diversity at greater densities and heights, achieving residential development that is uniform but well-articulated in design.

Neighbourhood Character Objectives

All Areas

1. To maintain and strengthen the presence of established native vegetation, including canopy trees in front setbacks and amenity trees in side setbacks.
2. To minimise the dominance of car parking access and structures by ensuring they are integrated with the façade of the dwellings.
3. To retain the spaciousness of the streetscape, characterised by absent, or low, front fences with views to front garden areas.
4. To maintain consistent front and side setbacks that allow for spacing to provide visual breaks and amenity.
5. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings, utilising materials sympathetic to existing development and a neutral colour palette.

Incremental

To ensure the built form of low to medium scale development positively responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.

Substantial

To ensure higher density development responds to the preferred scale and styles of the precinct, characterised by contemporary dwellings which feature well-articulated facades and a consistent material palette.

Photos by Ethos Urban



Alfredton



Winter Valley



Winter Valley



Winter Valley

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should compliment the building materials of existing dwellings such as brick and render, utilising a neutral colour palette of natural tones, particularly browns, greys and cream. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition. • Use non-reflective materials and finishes for walls, roofs and windows. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Encourage contemporary building design and innovative architecture that articulates façades and responds to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent.
Substantial	<ul style="list-style-type: none"> • New development should complement the medium scale built form. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that create a rhythm in the streetscape and provide for visual breaks and garden areas. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back at least 2m from one side boundary to retain spacing between buildings and enable landscaping.
Incremental and Substantial	<ul style="list-style-type: none"> • Buildings should be set back at least 1m from one side boundary and 1m from the other side boundary to retain separation between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing indigenous and native canopy trees and understorey vegetation and replant wherever possible. Where indigenous and larger native species cannot be retained on a site, the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. • Development must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Paths in the front setback should be integrated with the driveway to maximise space for landscaping and planting. • Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan.
Minimal	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 250m².
Incremental	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 300m².
Substantial	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 350m².
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape. • Provide only one vehicular crossover per typical site frontage. • Limit the width of vehicle accessways. • Provide landscaping and plantings to soften the appearance of driveways • Minimise paving in front yards, including the driveway. • In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • A front fence within 3 metres of a street should provide no or a low, open style up to 0.8m constructed of materials sympathetic to the surrounding context. • A front fence may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.



Photo by Ethos Urban

8.7 Garden Residential

Character Description

Garden Residential (GR) Areas generally characterised by formal subdivision patterns with a modified grid layout, wide cross sections and kerb and channel drainage. Most dwellings are single storey with compact siting reflective of Inter-War and Post-War architectural styles. Many areas also contain some infill development with dwellings reflective of more contemporary dwelling designs. The topography is flat and dwellings are oriented parallel to the street.

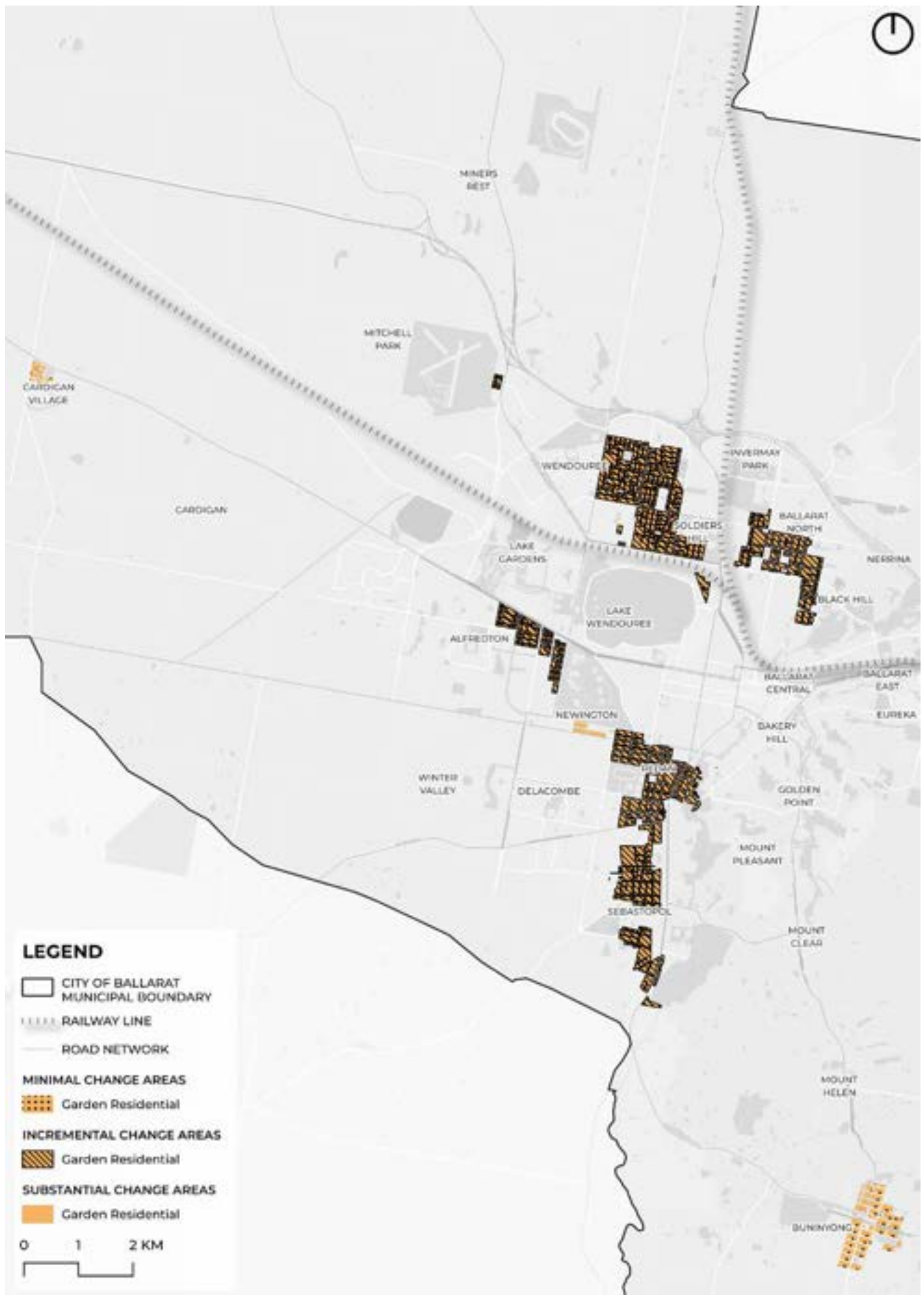
Dwellings are often constructed of brick and weatherboard and have a mix of levels of established vegetation present in front gardens. Garages are typically sited behind the rear line of dwellings and driveways are generally sealed.

Mature, medium sized street trees occur consistently in the public realm and footpaths generally occur on one side of the street.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Flat to sloping typography. • Short range views along tree-lined streets and avenues.
Public realm and streetscape	<ul style="list-style-type: none"> • Native and exotic street trees of varying maturity are consistently planted in most areas. • Streets following a grid layout and feature sealed roads with gravel verges. • Footpaths are present on one side and occasionally on two. • Drainage infrastructure includes concrete kerbs and channels.
Architectural style	<ul style="list-style-type: none"> • Predominantly interwar and postwar styles with occasional contemporary development.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey, but with some occasional double storey.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street. • Lot sizes range from 500m² to 1000m². • Site coverage ranges from 25% to 45%.
Building materials	<ul style="list-style-type: none"> • Predominantly brick and weatherboard. • Neutral colour palette including browns, greys and cream. • Predominantly hipped and gabled roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 5m to 10m. • Side setbacks range from 1m to 3m.
Garden style	<ul style="list-style-type: none"> • Low to medium levels of established vegetation. • A mixture of native and exotic canopy trees.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is generally set behind the façade of the dwelling. • Driveways are sealed.
Front boundary treatment	<ul style="list-style-type: none"> • Front fences are generally present and are typically low, semi-transparent and up to 1.2m in height constructed from a mix of materials.

Preferred Character Area Map

Garden Residential Character Areas



Preferred Character Statements

All Areas

New development is sited within the landscape to allow for increased vegetation, including indigenous and native canopy tree coverage. Built form reflects the scale of existing dwellings, using simple building forms and neutral building materials including weatherboard and brick.

Buildings are articulated with recesses, porch areas and large windows, to complement the architectural detailing of the older style dwellings.

Consistent front and site setbacks create a sense of openness in the streetscape. New development allows space for increased indigenous and native vegetation planting, including canopy and amenity trees, contributing to the garden character.

Garages and carports are often located behind or in line with the façade of the dwelling and are visually unobtrusive and compatible with the development.

A mix of low scale and permeable front fencing allows for views to dwellings and front garden areas.

Streetscapes are often characterised by public spaces featuring a mix of native and non-native plantings, with a presence of paved footpaths on both sides of the street.

Incremental

Incremental Change areas will support low to medium scale developments, while still retaining the garden setting of the precinct by providing adequate space for increased native vegetation planting including canopy trees and shrubs.

Substantial

Substantial Change areas will experience increased change through housing diversity at greater densities and heights.

Neighbourhood Character Objectives

All Areas

1. To maintain and reinforce the predominant building alignment along the street, characterised by setbacks that contribute to the sense of openness.
2. To encourage space for increased indigenous and native vegetation planting, including canopy and amenity trees within the private realm, to strengthen the garden setting of dwellings and contribute to the enhancement of the public realm.
3. To ensure new development does not dominate the streetscape but minimises the dominance of car parking access and structures instead.
4. To maintain the openness of the streetscape and views through to front gardens, characterised by absent front fences.
5. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by predominantly low scale dwellings, utilising simple building forms and materials sympathetic to existing development with a neutral colour palette.

Incremental

To ensure the built form of low to medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and natural materials, utilising a neutral colour palette including muted browns, greys and cream.

Substantial

To ensure higher density development responds to the preferred scale and styles of the precinct, characterised by townhouse, unit and apartment developments which feature well-articulated facades and a consistent material palette.

Photos by Ethos Urban



Ballarat North



Redan



Ballarat North/Soldiers Hill



Sebastopol

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the low scale built form and sitting of existing dwellings and use of neutral materials such as brick and weatherboard. • Ensure new development responds to any local heritage plan that has been implemented by the City of Ballarat. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition, ensuring that contemporary design details do not directly mimic older architectural styles. • Use non-reflective materials and finishes for walls, roofs and windows. • Encourage contemporary building design and innovative architecture that articulates façades and responds to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • New development should maintain generous setbacks that provide for visual breaks and garden areas.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent.
Substantial	<ul style="list-style-type: none"> • New development should complement the medium scale built form. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that provide for a sense of openness with visual breaks through to garden areas. • Incorporate upper level setbacks to maintain the appearance of low scale street frontages when viewed from the street. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees, amenity trees and understorey vegetation. • The site area covered by buildings should not exceed 50%. • Provide at least 30% of the site as permeable surface. • Provide for one area within the front set back with minimum dimensions of 5m x 5m to accommodate at least one canopy tree.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 2m from one side and 1m from the other side to retain separation between buildings and enable landscaping.
Incremental and Substantial	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 1m from each side to retain separation between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing indigenous and native canopy trees, amenity trees and understorey vegetation and replant wherever possible. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Ensure that all retained and proposed trees can reach maturity and are sustained over the longer term. • Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. • Paths in the front setback should be integrated with the driveway to maximise space for landscaping and planting. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan. • Maintain the formal garden setting of the precinct by providing garden beds in front yards with space for new vegetation to establish, including along fence lines, driveways, front façades and other accessways.
Minimal and Incremental	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 250m².
Substantial	<ul style="list-style-type: none"> • Provide indigenous and native canopy trees occurring at a density of one to every 300m².

Character Elements	Design Response
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front dwelling façade, ensuring that they are integrated with the design of the dwelling. • Where a side by side development occurs, space the vehicle crossovers to retain the existing rhythm of the street. • Limit the width of vehicle accessways and minimise hard paving within the front setback. • Paths in the front setback should be integrated with the driveway to maximise space for landscaping and planting. • Provide only one vehicular crossover per typical site frontage. • Provide landscaping and plantings to soften the appearance of driveways.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • A front fence within 3 metres of a street should provide no or a low, open style up to 1.2m constructed of materials sympathetic to the surrounding context. • A front fence may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.



Photo by Ethos Urban

8.8 Lakeside Garden

Character Description

The Lakeside Garden (LG) Area is located exclusively around Lake Wendouree in Ballarat's west. Lake Wendouree is a valued feature of the city, with streetscapes in its immediate vicinity characterised by Ballarat's most eclectic combination of architectural styles, stretching back from early European settlement into the present day with contemporary designs evident. Dwellings in this Character Area tend to be large scale, with a variety of dwelling densities. Dwellings of two storeys are common; three storeys are also present and are designed to harness lake views.

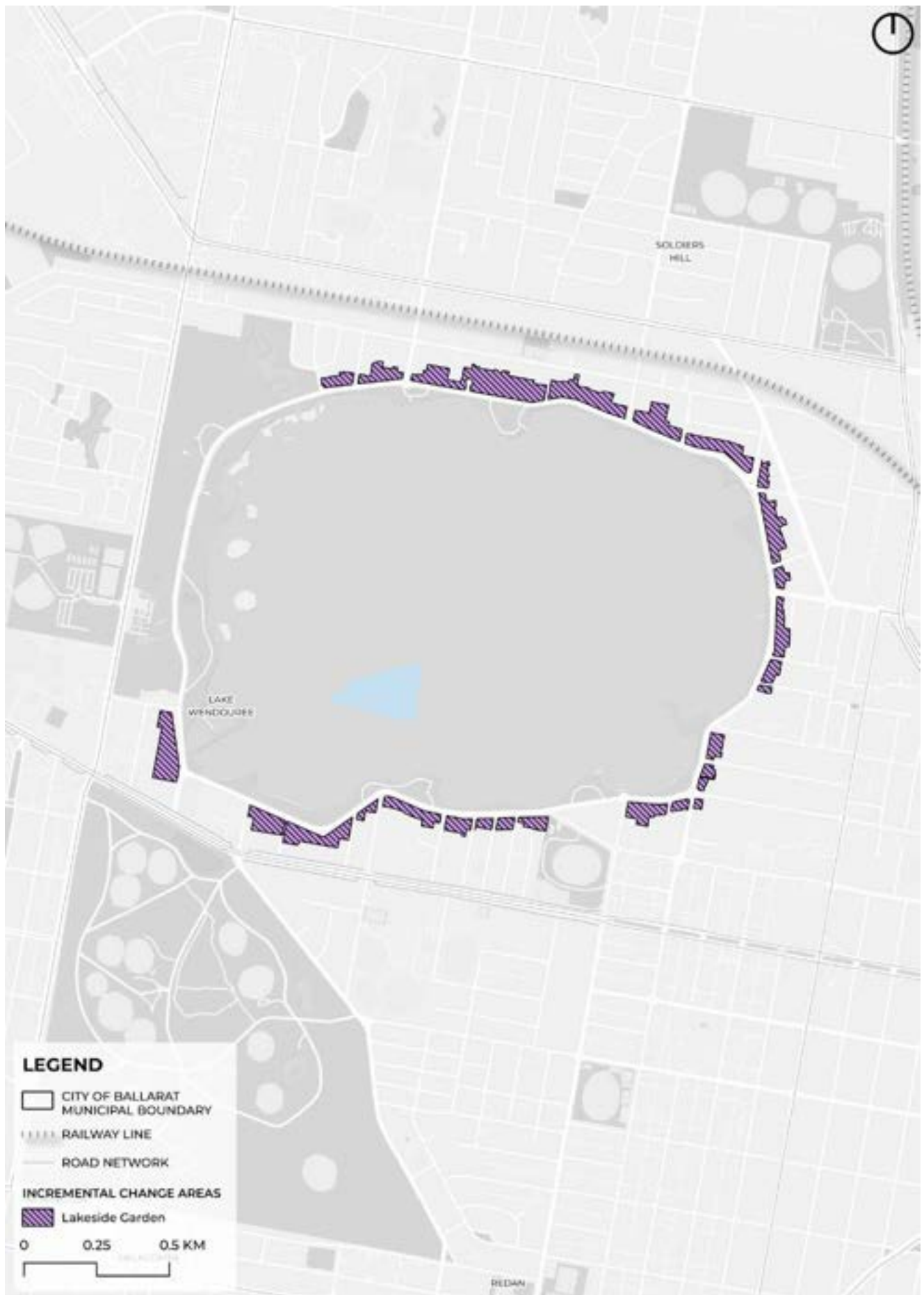
The key characteristics of Lakeside Garden Character Area are the eclectic mix of architecture styles and of dwellings situated on large lots. Extensive views to Lake Wendouree and distant intermittent parklands and cityscapes are afforded in this area and mature exotic trees are prominent in the public and private realms. Footpaths are typically present on both sides of the street.

Garages are often integrated with or set behind the façade of the dwelling and driveways are sealed. Front boundary treatment varies with fences constructed from a range of materials up to 1.2m in height. A number of fences are solid and seek to provide privacy given the main road frontage.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Flat topography with views to Lake Wendouree and distant intermittent parklands and city scapes.
Public realm and streetscape	<ul style="list-style-type: none"> • Native and exotic street trees of varying maturity are present in most areas. • Streets following a curvilinear layout and feature sealed roads. • Footpaths are present on both sides of the road. • Drainage infrastructure includes concrete kerbs and occasionally bluestone kerbs in areas surrounding Lake Wendouree.
Architectural style	<ul style="list-style-type: none"> • Predominantly interwar, post war, and occasional contemporary style dwellings.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly double storey dwellings, with some single storey the occasional three development. • Lot size range from 400m² to 1200+m². • Site coverage ranges from 20% to 45%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street.
Building materials	<ul style="list-style-type: none"> • Predominantly brick, render or weatherboard. • A muted colour palette of browns, reds, greys and cream. • Predominantly hipped and gabled roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 4m to 10m. • Side setbacks range from 1m to 2m.
Garden style	<ul style="list-style-type: none"> • Front gardens a medium level of formal plantings including established native and exotic shrubs and trees.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is generally in line or set behind the façade of the dwelling. • Driveways are sealed.
Front boundary treatment	<ul style="list-style-type: none"> • Where a fence is provided it is constructed from a mix of materials up to 1.2m in height. • Occasionally fences exceed 1.2m and are solid to provide privacy, given the main road frontage.

Preferred Character Area Map

Lakeside Garden Character Areas



Preferred Character Statements

All Areas

New development will reflect the moderate scale and built forms of existing dwellings, using contemporary facade articulation, a consistent palette of materials and muted tones sympathetic to the surrounding landscape character.

New development will be designed to maximise views to the lake and distant intermittent parklands and city scapes and to make reasonable effort to ensure view sharing between neighbouring properties.

Front and side setbacks will allow for the retention and continued planting of native vegetation and tree canopy within a flourishing formal garden settings.

Vehicle storage will be located in line of or behind the dwelling façade and will be visually unobtrusive and integrated with the design of the dwelling.

Front fencing will allow for views through to dwellings and front garden areas whilst ensuring privacy for dwellings located on busy street corners and more frequented areas.

Vistas around streets bends will be characterised by grassed nature strips with native plantings, establishing canopy trees and footpaths on both sides of the street.

Neighbourhood Character Objectives

All Areas

1. To ensure new development positively responds to the preferred building materials, scale and styles of the precinct, characterised by detached, medium scale dwellings with a contemporary architectural style that utilise consistent materials and muted colour palette sympathetic to existing development and the landscape setting.
2. To ensure new development makes reasonable effort to ensure view sharing between neighbouring properties.
3. To ensure new development does not dominate the streetscape and minimises the dominance of car parking access and structures instead.
4. To provide for car parking which is in alignment with the dwelling façade and ensure parking does not dominate the streetscape.
5. To maintain and improve the vegetated character of the area through encouraging the retention and continued planting of native vegetation and tree canopy within the private realm.

Photos by Ethos Urban



Lake Wendouree



Lake Wendouree



Lake Wendouree



Lake Wendouree

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the built form and scale of existing development, utilising a muted colour palette and materials including brick, weatherboard and render. • Ensure new development responds to any local heritage plan that has been implemented by the City of Ballarat. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition, ensuring that contemporary design details do not directly mimic older architectural styles. • Use non-reflective materials and finishes for walls, roofs and windows.

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • Encourage innovative and integrated balcony and window screening treatments where required to address overlooking requirements. • Encourage contemporary building design and innovative architecture that articulates facades and responses to sensitive interfaces. • Locate habitable rooms and dwelling entrances to face the street where possible. • Minimise the visibility of infrastructure and services from the public realm and other sensitive interfaces. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • New development should complement the medium scale height of existing dwellings.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that provide for visual breaks and garden areas. • Buildings should be sited to take into account the sharing of view corridors to the lake and distant landscapes. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and shrubs. • Buildings should be set back at least 2m from one side boundary to retain spacing between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain established or mature trees and provide space for the planting of new canopy trees and vegetation. Where indigenous and larger native species cannot be retained on a site, the site should provide adequate space for offset planting of indigenous and native trees that will grow to a mature height similar to the height of the tree that was removed. • Buildings must provide a high-quality landscaping response to the street that contributes to the public realm through innovative design, landscaping and open frontages. • Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. • Paths in the front setback should be integrated with the driveway to maximise space for landscaping and planting. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan. • Provide indigenous and native canopy trees occurring at a density of one to every 250m² across the site. • Provide at least 20% of the site as permeable surface.

Garage storage and vehicle access

All areas

- Locate garages and carports in line or behind the front façade of the dwelling, ensuring that they do not dominate streetscape.
- Provide only one vehicular crossover per typical site frontage.
- Provide landscaping and plantings to soften the appearance of driveways.
- Minimise paving in front yards, including the driveway.
- In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street.

Front fencing

All areas

- A front fence within 3 metres of a street should provide an open style up to 1.2m constructed of materials sympathetic to the surrounding context.
 - A front fence may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.
-



Photo by Ethos Urban

8.9 Rural Residential 1

Character Description

The Rural Residential 1 (RR1) Area is predominantly located in Cadigan Village and Miners Rest. These areas are characterised by formal streetscapes and predominantly modern and contemporary architectural styles. Dwellings have large floor plates and are generally built from brick or concrete with a rendered finish. Dwellings feature generous front and side setbacks, allowing for landscaping and planting.

Dwellings contain varying levels of vegetation and often feature a mix of native and non-native, planting. Open lawns stretching from the dwelling to the street verge are also prominent throughout the precinct. Absent, or low and permeable front fences constructed from timber allow for views through to dwellings and front garden areas.

The topography is relatively flat or gently sloping in some areas, and coupled with the lack of canopy trees, this gives rise to extensive views from the edges of the residential areas to surrounding farmland and nearby settlements. Low site coverage provides a strong sense of openness and streets are laid out in a curvilinear form, with a mixture of formal and natural drainage. Footpaths are found along some street frontages and street trees are intermittent with the exception of main roads.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Flat to gently sloping with extensive views to open farmland and nearby settlements.
Public realm and streetscape	<ul style="list-style-type: none"> • Street trees are generally absent with the exception of main roads. • Streets following a grid layout and feature sealed roads with grass and gravel verges. • Footpaths are not present. • Drainage infrastructure includes a mix of swales, kerbs, and channels.
Architectural style	<ul style="list-style-type: none"> • A mix of 20th and 21st century style dwellings.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey. • Lot sizes range from 1000m² to 5000m². • Site coverage ranges from 10% to 20%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street.
Building materials	<ul style="list-style-type: none"> • Predominantly weatherboard and brick. • Neutral colour palette including browns, greys, cream and white. • Predominantly hipped and gabled roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 3m to 18m. • Side setbacks are generally 3m to 4m.
Garden style	<ul style="list-style-type: none"> • Low to medium levels of established vegetation and expansive grass lawns. • A mixture of native and exotic canopy trees and low lying shrubs.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is either detached and setback or in line and integrated with the façade of the dwelling. • Driveways are sealed.
Front boundary treatment	<ul style="list-style-type: none"> • A predominant absence of front fences. • Where a fence is provided it is typically low, semi-transparent and up to 0.8m in height constructed from timber or post and wire.

Preferred Character Area Map

Rural Residential 1 Character Areas



Preferred Character Statements

All Areas

New development is set within the flat to sloping landscape and reflects the semi-rural character of low scale dwellings with a contemporary architectural style that utilises natural materials and a neutral colour palette of softer tones sympathetic to the rural landscape character.

New development provides significant front and side setbacks to allow for the retention and continued planting of indigenous and native vegetation, canopy and amenity trees.

Dwellings are sited on large lots that accommodate a mixture of indigenous and native species, strongly textured planting and vast open lawns.

The streetscapes feature a formal character, with a presence of sealed roads and mix of drainage infrastructure including swales and channels.

Garages and carports are often located behind the line of the front dwelling façade and are unobtrusive and integrated with the design of the dwelling.

Front fencing is absent or of a low rural style and permeable, allowing for views through to landscaping located in the front setbacks of dwellings.

Incremental

New development will reflect the moderate scale and built forms of existing dwellings, using contemporary facade articulation, a consistent palette of materials and muted tones sympathetic to the surrounding landscape character.

Neighbourhood Character Objectives

All Areas

1. To minimise the dominance of vehicle access and structures with unsealed crossovers and driveways and locating garages and carports behind or in line with the front facade of the dwelling.
2. To strengthen the vegetation-dominated landscape, characterised by large rural lots with significant setbacks that allow continued planting of indigenous and native vegetation, canopy and amenity trees.
3. To ensure new development sits with the existing rural landscape setting, maximising view sharing to surrounding rural areas and landscapes.
4. To retain the spaciousness of the streetscape, characterised by no or low rural style, permeable front fences with views through to landscaping located in the front setbacks of dwellings.
5. To ensure new development reflects the preferred built form, characterised by low scale dwellings with a contemporary architectural style that utilises natural materials and a muted colour palette of earthen and bush tones to enhance the precinct's semi-rural character.

Incremental

To ensure new development reflects the preferred built form, characterised by medium to low scale dwellings with a contemporary architectural style that utilises natural materials and a muted colour palette of earthen and bush tones to enhance the precinct's semi-rural character.

Photos by Ethos Urban



Cardigan Village



Cardigan Village



Cardigan Village



Cardigan Village

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the contemporary building forms, natural materials and siting of existing dwellings. • New development should use a neutral colour palette of earthen bush tones, particularly greens, browns and greys. • Articulate the front façades of buildings through the use of verandahs, windows, doorways and porch entries. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Buildings should not penetrate the tree canopy, where a canopy is present. • Use non-reflective materials and finishes for walls, roofs and windows.
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> The site area covered by buildings should not exceed 45%. Provide at least 45% of the site as permeable surface. If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees, amenity trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> Buildings should be set back a minimum of 4m from both side boundaries to enable the planting of indigenous and native trees and understorey planting.
Incremental	<ul style="list-style-type: none"> Buildings should be set back a minimum of 3m from one side boundary and 2m from the other side boundary.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> Retain existing indigenous and native canopy trees, amenity trees and understorey vegetation and replant wherever possible. Ensure that all retained and proposed trees can reach maturity and are sustained over the longer term. Buildings should be sited and designed to incorporate space for planting of indigenous and native vegetation. Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan.
Minimal	<ul style="list-style-type: none"> Provide indigenous canopy trees occurring at a density of one to every 150m².
Incremental	<ul style="list-style-type: none"> Provide indigenous canopy trees occurring at a density of one to every 200m².
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling. Provide only one vehicular crossover per typical site frontage. Minimise paving in front garden areas including driveways and cross overs. Use permeable driveway materials. Provide landscaping and plantings to soften the appearance of driveways.
Front fencing	
All areas	<ul style="list-style-type: none"> Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. A front fence within 3 metres of a street should provide low, open rural style constructed of timber or post and wire up to 0.8m in height.



Photo by Ethos Urban

8.10 Rural Residential 2

Character Description

The Rural Residential 2 (RR2) Area features large open paddocks amongst the residential dwellings. There is a mixture of architectural styles from the mid to late 20th Century onwards mainly large, single storey 'ranch style' detached dwellings, predominantly built of brick with hipped or gabled roof forms.

Views out over the surrounding paddocks are found in most areas but are occasionally restricted by mature boundary planting. Dwellings are inconsistently sited to respond to vegetation and include large front setbacks supporting the high level of plantings. Gardens are well established and consist of a combination of mown lawn with individual trees and shrub borders featuring both exotic and native planting with conifers in particular used for screening the street or neighbouring properties.

Roads are generally sealed with wide reserves and grass verges. There are no footpaths and street trees are largely absent.

Garages, carports, and sheds are generally detached and well setback from the street frontage. Front fencing is mostly present including post and wire, post and rail and the occasional brick with metal railings.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Flat topography. • Views to open surrounding rural properties, distant settlements and vegetation.
Public realm and streetscape	<ul style="list-style-type: none"> • Informal street planting characterised by medium to high levels of established, native trees. • Streets mostly follow a modified grid layout and feature a mix of sealed and unsealed roads with gravel verges. • Informal streetscapes typically with no footpaths and a lack of formal drainage infrastructure, usually in the form of trenches or swales.
Architectural style	<ul style="list-style-type: none"> • A mix of 20th and 21st century style dwellings.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey up to 5m in height. • Lot size range from 5000m² to 30,000m². • Site coverage ranges from 5% to 15%.
Building orientation and layout	<ul style="list-style-type: none"> • Inconsistent siting and orientation of dwellings.
Building materials	<ul style="list-style-type: none"> • Predominantly weatherboard and brick. • Neutral colour palette of earthen and bush tones including browns, greens, greys and cream. • Predominantly hipped and gabled roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks are generous, in excess of 9m. • Front setbacks are generous, in excess of 9m. • Dwellings are separated by spacious side setbacks, in excess of 5m.
Garden style	<ul style="list-style-type: none"> • Medium levels of established vegetation, where planting is a mix of densely vegetated native and non-native species and is complimented by remnant native canopy in vast lawns.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is primarily equal with the front facade, occasionally forward of the dwelling. • Predominantly unsealed, long driveways (mix of gravel and dirt).
Front boundary treatment	<ul style="list-style-type: none"> • A predominant absence of front fences. • Where a fence is provided it is typically low, semi-transparent and up to 0.8m in height constructed from timber or post and wire.

Preferred Character Area Map

Rural Residential 2 Character Areas



Preferred Character Statements

All Areas

Streetscapes are dominated by indigenous and native canopy trees with supporting undergrowth. New development is sited to strengthen the vegetation dominated landscape. Informal bush gardens surround low scale dwellings on spacious lots.

New development provides generous front and side setbacks to allow for the retention and continued planting of indigenous and native vegetation and open lawns.

New development reflects the low scale of dwellings, using simple building forms and low pitched roofs.

Dwellings do not penetrate the existing remnant native tree canopy and are often obscured by dense roadside vegetation.

Dwellings utilise natural materials and a muted colour palette of earthen and bush tones to fit within the vegetated landscape setting.

The streetscapes feature an informal character which embraces roadside vegetation and a mixture of sealed and unsealed roads.

Garages and carports are hidden from view, often located behind the line of the front dwelling façade and are integrated with the design of the dwelling.

Front fencing is low and permeable, blending with gardens and the unsealed roads.

Neighbourhood Character Objectives

All Areas

1. To ensure new development reflects the preferred built form, characterised by low scale dwellings with a contemporary architectural style that utilises natural materials and a neutral colour palette of earthen and bush tones.
2. To ensure new development does not dominate the wider landscape setting nor penetrates the existing indigenous and native tree canopy but instead sits behind trees and bushes, often obscured by the vegetation, and minimises site disturbance and the impact of buildings on the landscape.
3. To strengthen the vegetation-dominated landscape, characterised by large rural lots with generous setbacks that allow retention of remnant indigenous and native vegetation and continued planting of canopy trees and gardens.
4. To minimise the dominance of vehicle access and structures with unsealed crossovers and driveways and locating garages and carports behind the front facade of the dwelling.
5. To retain low, permeable front fences constructed of timber or post and wire, that blend with gardens and existing vegetation that lines the street.

Photos by Ethos Urban



Cardigan



Cardigan



Cardigan



Cardigan

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the low scale, simple building forms and large floor plates of existing dwellings. • New development should use a neutral colour palette of earthen bush tones, particularly greens, browns, greys and greys. • Articulate the front façades of buildings through the use of verandahs, windows, doorways and porch entries. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Buildings should not penetrate the tree canopy, where a canopy is present. • Use non-reflective materials and finishes for walls, roofs and windows. • New development should maintain generous separation between dwellings that provides for visual breaks, sharing of views and garden areas.

Character Elements	Design Response
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 5m from both side boundaries to enable the planting of indigenous and native trees and understorey planting. • The site area covered by buildings should not exceed 30%. • Provide at least 50% of the site as permeable surface. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of indigenous and native canopy trees, amenity trees and understorey vegetation.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Retain existing indigenous and native canopy trees, amenity trees and understorey vegetation and replant wherever possible. • Ensure that all retained and proposed trees can reach maturity and are sustained over the longer term. • Buildings should be sited and designed to incorporate space for planting of indigenous and native vegetation. • Provide indigenous canopy trees occurring at a density of one to every 200m². • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan.
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports behind the line of the front dwelling façade, ensuring that they are integrated with the design of the dwelling. • Provide only one vehicular crossover per typical site frontage. • Minimise paving in front garden areas including driveways and cross overs. • Use permeable driveway materials. • Provide landscaping and plantings to soften the appearance of driveways.
Front fencing	
All areas	<ul style="list-style-type: none"> • Fencing should be set back from the front site boundary to allow for landscaping in front of the fence. • A front fence within 3 metres of a street should provide low, open rural style constructed of timber or post and wire up to 0.8m in height.



Photo by Ethos Urban

8.11 Urban Core 1

Character Description

The Urban Core 1 (UC1) Area is located in some of the oldest residential areas of Ballarat: Soldiers Hill and Ballarat Central, the latter comprising parts of Wendouree and Newington. These areas were developed over a long time period with later development in some areas affected by the continuing presence of deep lead mining on the flat basalt plain. The area is strongly characterised by the formal grid layout based on the 19th Century government survey.

The undulating topography in Soldiers Hill and the elevated areas in Ballarat Central, affords significant views along streets towards the Ballarat city skyline, and beyond to key landmarks including Mount Buninyong and Mount Warrenheip, City Oval, Lake Wendouree and Black Hill. Nearly all gridded streets feature prominent avenues of mature to semi-mature trees. UC1 is distinguished by the extensive intact networks of bluestone drainage channels in combination with wide gravel and grass shoulders.

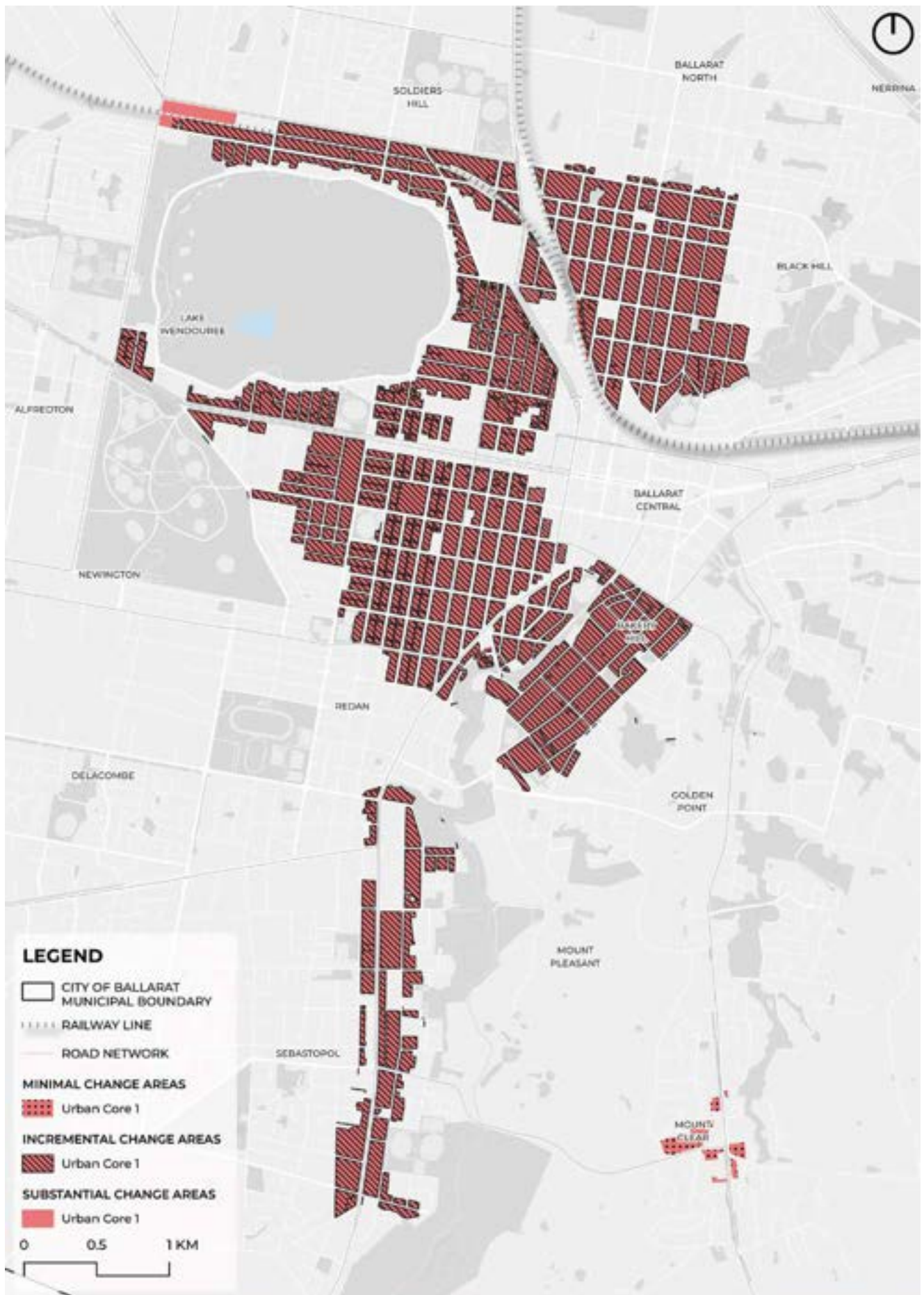
These areas are characterised by a combination of intact and individually significant detached residential buildings, generally from the Victorian, Federation, and Interwar era periods. Typical residential buildings are single storey, constructed of weatherboard, brick, or bluestone with hipped or gabled roofs. Buildings on the corners of principal roads that would have, historically, have been occupied by commercial businesses are evident, though in many cases are now in residential use. Front setbacks are typical, with smaller side setbacks reflecting the high-density nature of these areas.

Gardens are typically well-maintained, some with notable mature canopy trees and front fencing is constructed from a range of materials. Single garages, where they exist, are set back from dwelling façades, and often accessed via rear laneways.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • Flat to sloping topography. • Short range views along tree-lined streets and main roads. • Areas located within the elevated ground of Soldiers Hill provide views to the Ballarat CBD.
Public realm and streetscape	<ul style="list-style-type: none"> • Native and exotic street trees of varying maturity are consistently planted in most areas. • Streets following a grid layout and feature sealed roads with gravel verges. • Footpaths are generally present on both sides. • Drainage infrastructure includes concrete kerbs and channels. • Networks of back alleyways providing rear lane access in some areas.
Architectural style	<ul style="list-style-type: none"> • Mixture of Victorian, Edwardian, Inter-war and Post-war styles interspersed by heritage and some contemporary developments.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are detached single dwellings.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey, but with some double storey up to 9m. • Lot sizes range from 400m² to 1000m². • Site coverage ranges from 30% to 55%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street.
Building materials	<ul style="list-style-type: none"> • Predominantly weatherboard and brick and occasionally bluestone. • Neutral colour palette including browns, greys, cream and white.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 3m to 7m. • Side setbacks range from 1m to 2m.
Garden style	<ul style="list-style-type: none"> • Low to medium levels of established vegetation. • A mixture of native and exotic canopy trees and low lying shrubs.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is generally detached and set behind the façade of the dwelling. • Driveways are sealed.
Front boundary treatment	<ul style="list-style-type: none"> • Front fences are generally present and are typically low, semi-transparent and up to 1.2m in height constructed from a mix of materials.

Preferred Character Area Map

Urban Core 1 Character Areas



Preferred Character Statements

All Areas

New development will be predominantly low scale, utilising a mix of materials and a neutral colour palette that is sympathetic to existing, older development including Victorian, Edwardian, Inter-war and Post-war architectural styles.

Dwellings will be consistently sited within formal garden settings which provide space for increased vegetation, including native shrubs and canopy tree coverage.

Vehicle storage will be located in line of or behind the dwelling facade, and will be visually unobtrusive and compatible with the development.

Front facade articulation is achieved through the use of recesses to complement the verandah and porch areas of the existing traditional dwellings.

The scale of dwellings will support views in sloping areas, along streets towards the Ballarat city skyline, but also beyond to key landmarks including Mount Buninyong and Mount Warrenheip, City Oval, Lake Wendouree and Black Hill.

Incremental

Incremental Change areas will support low to medium scale developments, while still responding to existing built form and maintaining appropriate setbacks that provide space for increased native vegetation planting.

Substantial

Substantial Change areas will experience increased change through housing diversity at greater densities and heights, achieving residential development that is uniform but well-articulated in design.

Neighbourhood Character Objectives

All Areas

1. To ensure that new development is designed to respect the key elements of existing buildings from Victorian, Edwardian, Inter-war and Post-war eras.
2. To ensure that new buildings and extensions do not dominate the streetscape.
3. To maintain and reinforce the predominant building alignment along the street and to retain the existing street rhythm.
4. To ensure new dwellings positively respond to the predominant weatherboard materials of the precinct.
5. To maintain and strengthen the vegetated settings of dwelling.

Incremental

To ensure the built form of low to medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and consistent material and colour palette sympathetic to older buildings.

Substantial

To ensure higher density development responds to the preferred scale and styles of the precinct, characterised by townhouse, unit and apartment developments which feature well-articulated facades and a consistent material palette sympathetic to older buildings.

Photos by Ethos Urban



Ballarat East



Soldiers Hill



Ballarat Central



Ballarat Central

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the design and simple building forms of existing dwellings, utilising a neutral colour palette of natural tones, particularly browns, greys and cream. • Ensure new development responds to any local heritage plan that has been implemented by the City of Ballarat. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition, ensuring that contemporary design details do not directly mimic older architectural styles. • Use non-reflective materials and finishes for walls, roofs and windows. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • Encourage contemporary building design and innovative architecture that articulates façades and responses to sensitive interfaces.

Character Elements	Design Response
Building height and form	
Minimal	<ul style="list-style-type: none"> New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> New development should complement a low to medium scale built form.
Substantial	<ul style="list-style-type: none"> New development should complement the medium scale built form.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> New development should maintain consistent setbacks that provide for a sense of openness and visual breaks and garden areas. Orient dwellings parallel to the street. In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> Buildings should be set back a minimum of 2m from one side boundary to retain spacing between buildings and enable landscaping.
Incremental and Substantial	<ul style="list-style-type: none"> Buildings should be set back a minimum of 1m from one side boundary to retain spacing between buildings and enable landscaping. Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan. Maintain the formal garden setting of the precinct by providing garden beds in front yards with space for new vegetation to establish, including along fence lines, driveways, front façades and other accessways.
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> Locate garages and carports behind or in line with the front façade of the dwelling, ensuring that they do not dominate streetscape. Provide only one vehicular crossover per typical site frontage. Limit the width of vehicle accessways. Minimise paving in front yards, including the driveway. In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street. Where a rear Right of Way exists, vehicle storage should be located at the rear of a dwelling.
Front fencing	
All areas	<ul style="list-style-type: none"> A front fence within 3 metres of a street should provide a low, open style up to 1.2m constructed of timber pickets or similar, sympathetic to the surrounding context. A front fence may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.



8.12 Urban Core 2

Character Description

The Urban Core 2 (UC2) Area is found in the inner east of Ballarat, with its historic origins associated with gold mining evident from the presence of many irregular lot shapes and sizes. Humffray and Eureka Streets were once the main entries into Ballarat from the east. Once the mines closed the UC2 areas transitioned to residential. Although the rectangular lots were formally surveyed, many of the irregular shaped lots derive from historic 'Miners Rights' leases.

Some sloping areas allow for expansive views to the cityscape and natural landmarks. The street layout is a mixture of grid layouts and curvilinear forms. Grass and gravel verges, bluestone and brick spoon drains and channels, and mature exotic trees are also important features.

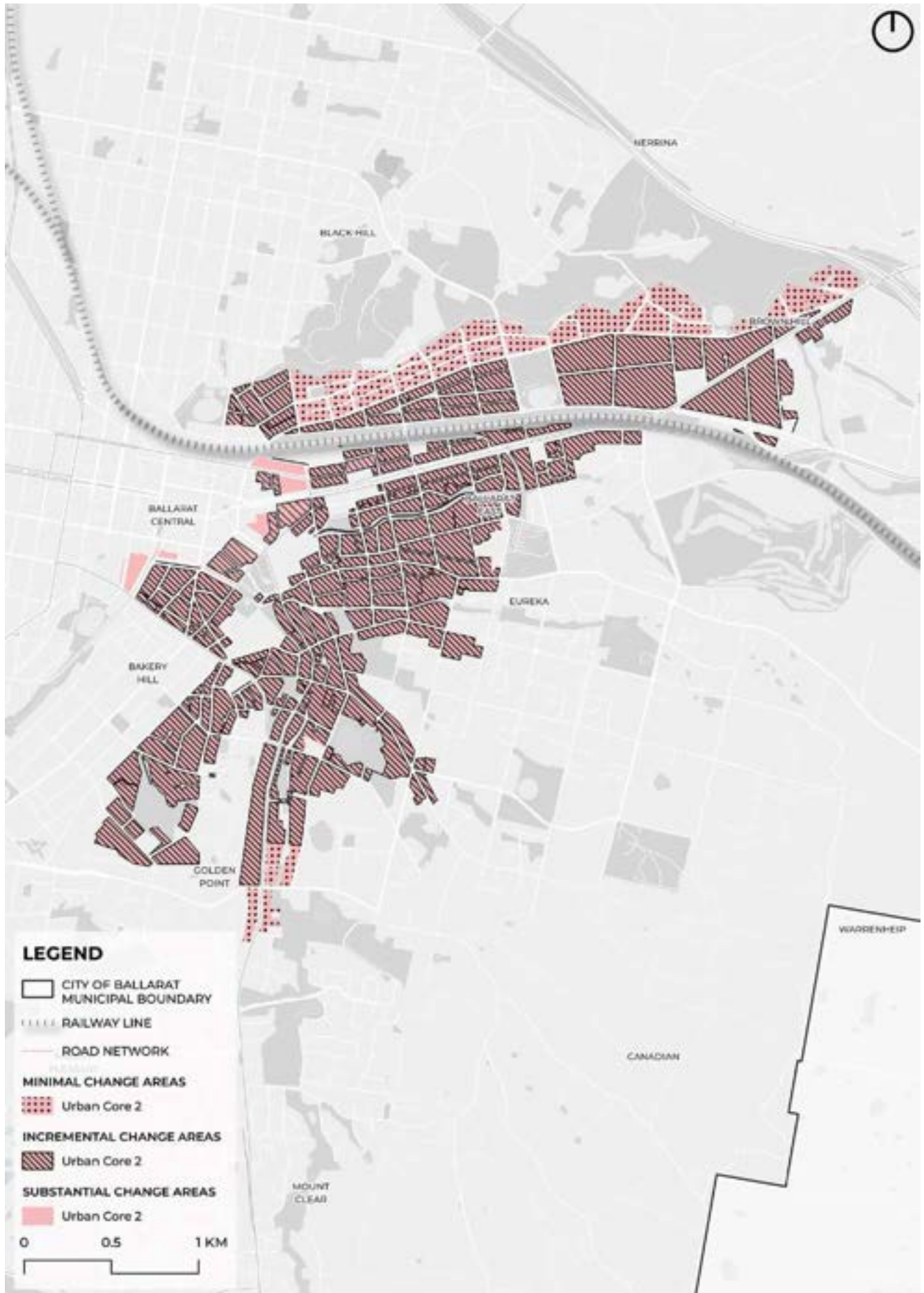
The UC2 areas consist of a mixture of Victorian, Edwardian, Inter-war and Post-war styles interspersed by heritage developments. Commonly, dwellings are detached and occasional semi-detached dwellings are present. Varying lot sizes and subdivision patterns contribute to an inconsistent layout although dwellings generally face the street. Front setbacks vary significantly with smaller front gardens more common in areas closer to commercial areas. Side setbacks are similarly varied in general but slightly more generous in Golden Point.

Front gardens are well maintained and feature low to medium levels of established native and exotic vegetation, with single garages generally sitting behind the principal dwelling facades. Fencing is typically constructed of timber or brick and occasionally robust hedging occurs along the front boundary.

CHARACTER ATTRIBUTES	
Landscape character and setting	<ul style="list-style-type: none"> • A gently sloping to rolling landform dissected by rivers and creek. Mature exotic trees are an important landscape feature. • The varied topography give rise to many views to surrounding areas and landmarks – Black Hill, Canadian Forest, CBD. • Significant views of the city skyline from parts of Golden Point.
Public realm and streetscape	<ul style="list-style-type: none"> • Native and exotic street trees of varying maturity are inconsistently planted. • Streets following a grid layout and feature sealed roads with gravel verges. • Footpaths are generally present on one side. • Drainage infrastructure includes concrete kerbs and channels, occasionally constructed from bluestone. • Networks of back alleyways providing rear lane access in some areas.
Architectural style	<ul style="list-style-type: none"> • Mixture of Victorian, Edwardian, Inter-war and Post-war styles interspersed by heritage developments.
Dwelling typology	<ul style="list-style-type: none"> • Buildings are predominantly detached single dwellings with some semi-detached.
Building height and scale	<ul style="list-style-type: none"> • Predominantly single storey, but with some double storey. • Lot sizes range from 300m² to 800m². • Site coverage ranges from 25% to 45%.
Building orientation and layout	<ul style="list-style-type: none"> • Dwellings are oriented parallel to address the street.
Building materials	<ul style="list-style-type: none"> • Predominantly weatherboard and brick. • Neutral colour palette including browns, greys, cream and white. • Predominantly hipped and gabled roof forms constructed of tile or metal.
Setbacks	<ul style="list-style-type: none"> • Front setbacks range from 2m to 7m. • Side setbacks range from 1m to 2m.
Garden style	<ul style="list-style-type: none"> • Low to medium levels of established vegetation. • A mixture of native and exotic canopy trees and shrubs. • Front gardens contain formal planting styles and there is a presence of hedges.
Car parking and outbuildings where relevant	<ul style="list-style-type: none"> • Vehicle storage is generally detached and set behind the façade of the dwelling. • Driveways are sealed.
Front boundary treatment	<ul style="list-style-type: none"> • Front fences are generally present and are typically low, semi-transparent and up to 1.2m in height constructed from a mix of materials and hedging.

Preferred Character Area Map

Urban Core 2 Character Areas



Preferred Character Statements

All Areas

New development will be consistent with the scale, built form and diversity of existing dwellings intrinsic to these established residential areas, utilising a mix of materials and a neutral colour palette that is sympathetic to existing, older development.

Dwellings will be consistently sited within formal garden settings which provide space for increased vegetation, including native shrubs and canopy tree coverage.

Front facade articulation is recessed to complement the existing pattern of verandah and porch areas of the traditional dwellings.

Vehicle storage will be located in line of or behind the dwelling facade, and will be visually unobtrusive and compatible with the development.

New development will be designed to respond to the topography of the land, to retain intermittent views to surrounding residential areas.

Incremental

Streets in Incremental Change areas will support low to medium scale developments which respond to the existing built form, massing and styles of older housing stock.

Substantial

Substantial Change areas will experience increased change through housing diversity at greater densities and heights, achieving residential development that is uniform but well-articulated in design.

Neighbourhood Character Objectives

All Areas

1. To ensure that new development is designed to respect the key elements of existing buildings from Victorian, Edwardian, Inter-war and Post-war eras.
2. To ensure that new buildings and extensions do not dominate the streetscape.
3. To maintain and strength the vegetated setting of the precinct, including the continued planting of canopy trees.
4. To ensure new development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well articulated facades and a consistent material palette.
5. To maintain and reinforce the predominant building alignment along the street and to retain the existing street rhythm.

Incremental

To ensure the built form of low to medium scale development positively responds to the preferred scale and styles of the precinct, characterised by dwellings which feature well-articulated facades and consistent material and colour palette sympathetic to older buildings.

Substantial

To ensure higher density development responds to the preferred scale and styles of the precinct, characterised by townhouse, unit and apartment developments which feature well-articulated facades and a consistent material palette sympathetic to older buildings.

Photos by Ethos Urban



Black Hill



Ballarat East



Soldiers Hill



Soldiers Hill

Design Guidelines

Character Elements	Design Response
Building height and form	
All areas	<ul style="list-style-type: none"> • New development should complement the design and simple building forms of existing dwellings, utilising a neutral colour palette of natural tones, particularly browns, greys and cream. • Ensure new development responds to any local heritage plan that has been implemented by the City of Ballarat. • In the case of side-by-side development, provide each dwelling with a separate roofline and a discernible sense of address. • Buildings should provide a pitched roof with prominent eaves. In cases where eaves are not provided, alternative techniques to articulate the dwelling should be introduced, which may include window shading, window shrouds, and other architectural features. • Orient buildings parallel to the street and incorporate façade articulation with the use of porches, recesses, windows, and doorways that provide rhythm without repetition, ensuring that contemporary design details do not directly mimic older architectural styles. Use non-reflective materials and finishes for walls, roofs and windows. • Ensure the main pedestrian entrance is legible in the streetscape while the vehicle entry is designed to be less prominent. • Encourage contemporary building design and innovative architecture that articulates façades and responds to sensitive interfaces.

Character Elements	Design Response
Building height and form	
Minimal	<ul style="list-style-type: none"> • New development should complement the low scale of existing dwellings.
Incremental	<ul style="list-style-type: none"> • New development should complement a low to medium scale built form.
Substantial	<ul style="list-style-type: none"> • New development should complement the medium scale built form.
Siting and setbacks	
All areas	<ul style="list-style-type: none"> • New development should maintain consistent setbacks that provide for a sense of openness and visual breaks and garden areas. • Orient dwellings parallel to the street. • In the case of multi-dwellings on a lot, design the front dwelling to present as one dwelling to the street through the use of roof forms, materials and design detail. • If more than one dwelling is proposed, provide sufficient separation between each dwelling to allow for the planting of canopy trees and understorey vegetation.
Minimal	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 2m from one side boundary to retain spacing between buildings and enable landscaping.
Incremental and Substantial	<ul style="list-style-type: none"> • Buildings should be set back a minimum of 1m from one side boundary to retain spacing between buildings and enable landscaping. • Setback upper levels above 2 storeys to achieve visual recession.
Gardens and landscaping	
All areas	<ul style="list-style-type: none"> • Provide landscaping along shared driveways and laneways to soften the appearance of buildings, fencing and hardstand areas. • Prepare a landscape plan to accompany all applications for new dwellings that utilises appropriate indigenous and native species identified by the City of Ballarat. Ensure submitted Landscape Plans demonstrate how development will contribute to the 40% tree canopy targets outlined in the City of Ballarat's Urban Forest Action Plan. • Maintain the formal garden setting of the precinct by providing garden beds in front yards with space for new vegetation to establish, including along fence lines, driveways, front façades and other accessways.
Garage storage and vehicle access	
All areas	<ul style="list-style-type: none"> • Locate garages and carports behind or in line with the front façade of the dwelling, ensuring that they do not dominate streetscape. • Provide only one vehicular crossover per typical site frontage. • Limit the width of vehicle accessways. • Minimise paving in front yards, including the driveway. • In the case of side-by-side development, space the vehicle crossovers to retain the existing rhythm of the street. • Where a rear Right of Way exists, vehicle storage should be located at the rear of a dwelling.
Front fencing	
All areas	<ul style="list-style-type: none"> • A front fence within 3 metres of a street should provide a low, open style up to 1.2m constructed of materials sympathetic to the surrounding context. • A front fence may be constructed up to 1.8m when located on a main road where they provide at least 25% permeability.



9.0 Next Steps

9.1 Implementation Overview

The following chapter outlines the means by which the City of Ballarat can implement the recommendations of this Neighbourhood Character Study.

Implementing the recommendations of this updated Study can include a range of statutory and nonstatutory mechanisms.

Statutory implementation, refers to the introduction of planning controls to the City of Ballarat Planning Scheme, that can be utilised to protect the character of the residential areas across the municipality, in accordance with the objectives and requirements of the identified Character Areas. This is in the form of Residential Zone and Overlay Schedules.

The implementation process also requires a nonstatutory yet equally important step of updating the City of Ballarat Planning Policy Framework (PPF) with the non measurable elements of the Character Areas Profiles including, Character Area Maps and character elements which cannot sit within a Zone or Overlay Schedule, which also assist in protecting and enhancing the character of these residential areas.

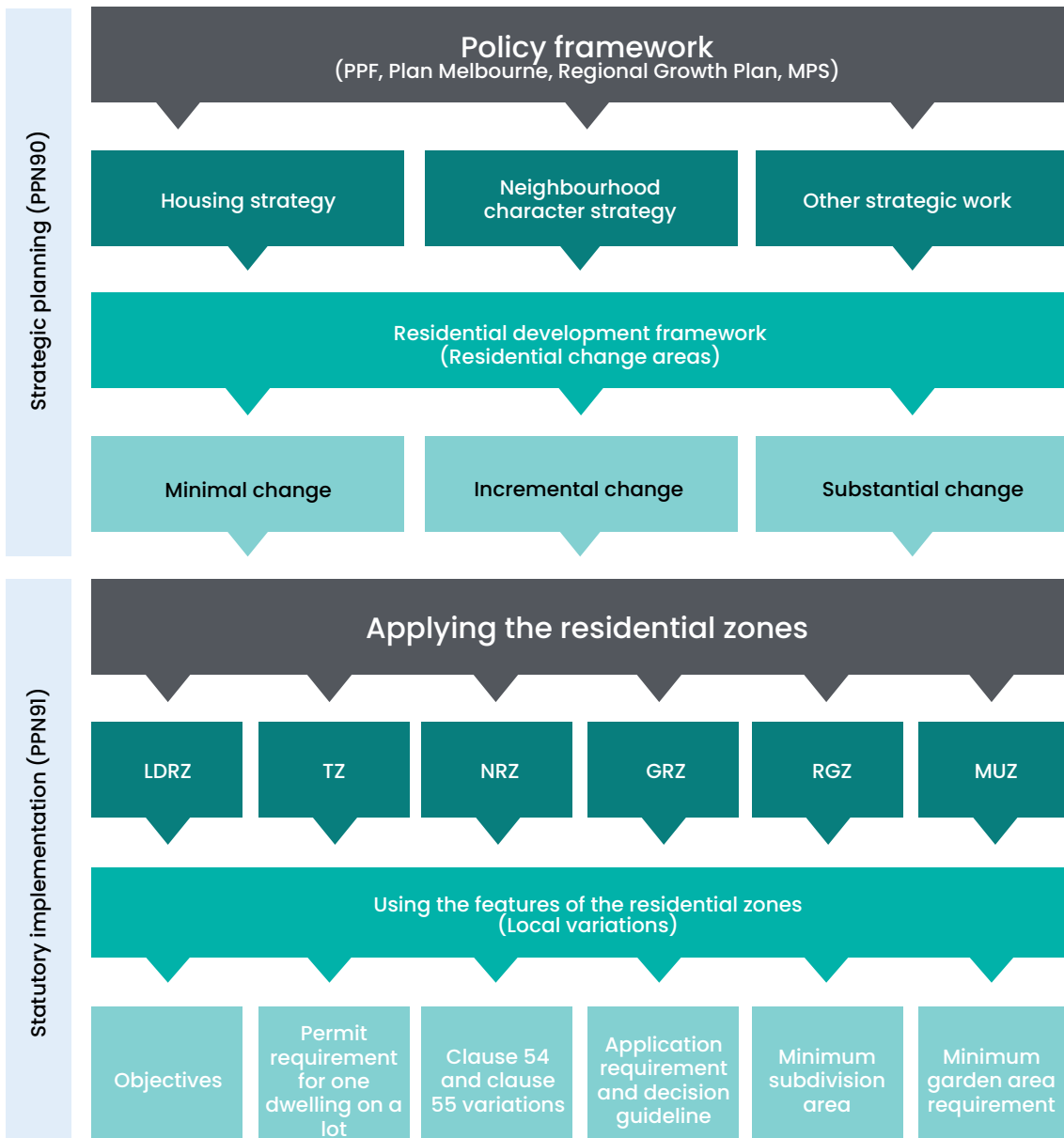
However, it should be noted that in accordance with Planning Practice Note 91: Using the Residential Zones, the application of zones should not be informed by Character alone, but derived from a municipal-wide strategic framework plan or residential development framework - Neighbourhood Character is one input into a larger strategic framework. The process for strategic planning and statutory implementation is shown in Figure 61.

The Neighbourhood Character areas identified in this Study have been informed by the City of Ballarat preparation of a Housing Strategy. In order to balance the objectives and outputs of the Neighbourhood Character Study, Housing Strategy and any other relevant Heritage, environmental, landscape and land capability study, Planning Practice Note 90 recognises the importance of creating a Residential Development Framework (RDF).

An RDF will identify the appropriate application of zones across the study area based on the outcomes of the NCS and Housing Strategy to prioritise the preferred development outcomes for different areas.

While preferred neighbourhood character will continue to be an important consideration in these areas, there is also a need to respond to State Government requirements for growth in residential supply and diversity. The Neighbourhood Character Study, Housing Strategy and Residential Development Framework will enable the City of Ballarat to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the Municipality.

Balancing housing growth with protection of neighbourhood character
 Source: Department of Transport and Planning; Planning Practice Note 91 (2023)



9.2 Proposed Zone Schedules

Neighbourhood Character Objectives

The Ballarat Planning Policy Framework will be amended through updates to applicable residential zone schedules.

In alignment with PPN90 and PPN91, the five neighbourhood character objectives for each neighbourhood character area and housing change area, will be specified in a schedule to a residential zone to implement the preferred neighbourhood character in the Ballarat Planning Scheme. Unless stated, character objectives which apply to all areas also apply to incremental and substantial change areas.

Design Guidelines

Schedules that can be added to the Residential Zones provide the mechanism to implement many of the Design Guidelines developed to achieve the Preferred Character for each neighbourhood character precinct and housing change area. The schedules can contain different design standards than those that would otherwise apply through the ResCode standards at Clauses 54 and 55 of the planning scheme. For Zone Schedules that don't permit ResCode variations (i.e., LDRZ), the design guidelines could be implemented via DDO schedules.

New zone schedule provisions will need to consider any existing DDO or SLO provision that might also apply to the area.

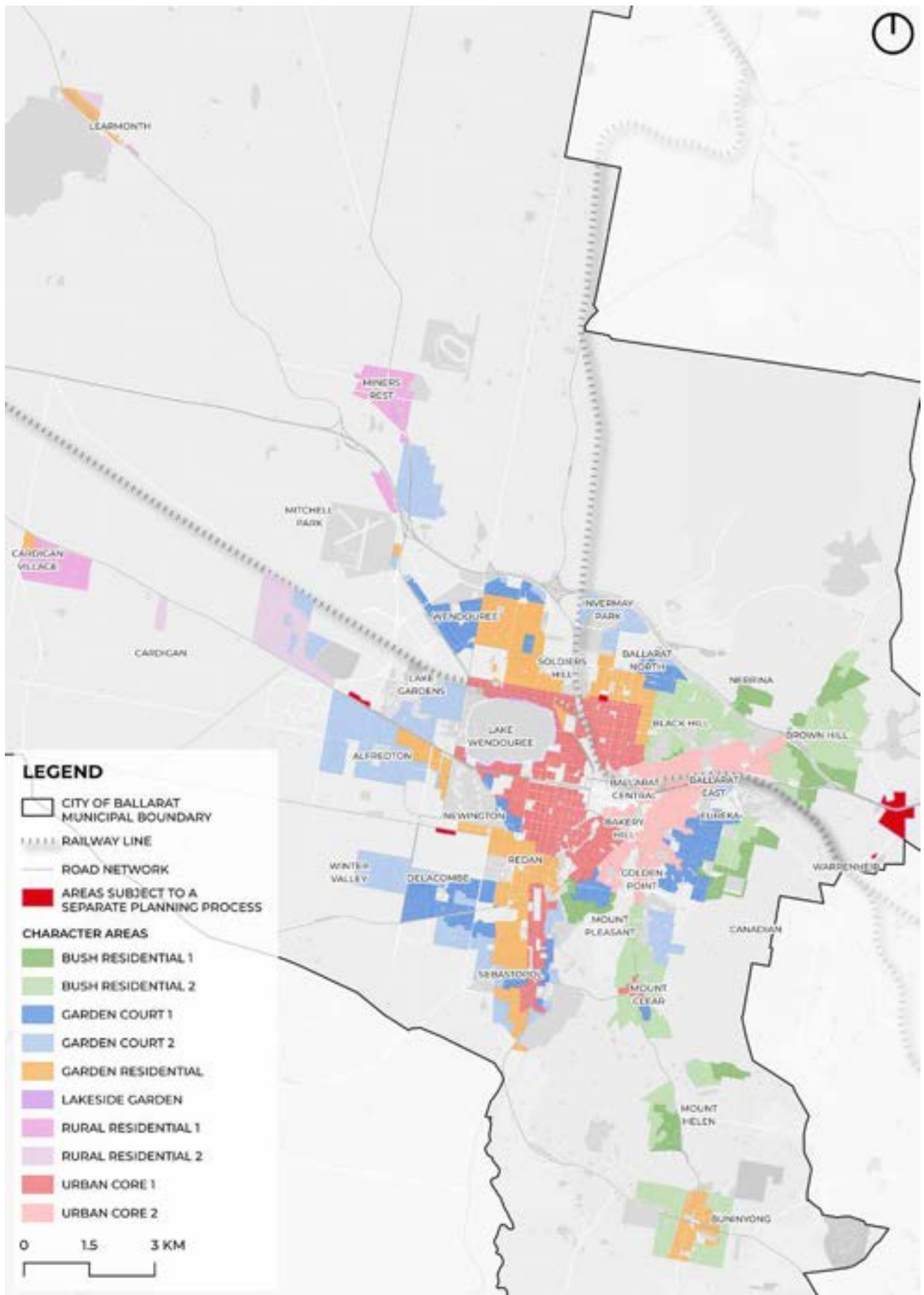
9.3 Neighbourhood Character Areas Map

The following Character Area Map shows the identified Neighbourhood Character Areas within the City of Ballarat.

As mentioned earlier, this Character Area Map forms part of the non-statutory process of updating the City of Ballarat Planning Scheme. This Character Area Map will assist in protecting and enhancing the character of these residential areas in tandem with the other non-measurable elements of the Precinct Profiles.



Neighbourhood Character Areas Map



9.4 Proposed Overlays

Proposed Significant Landscape Overlay

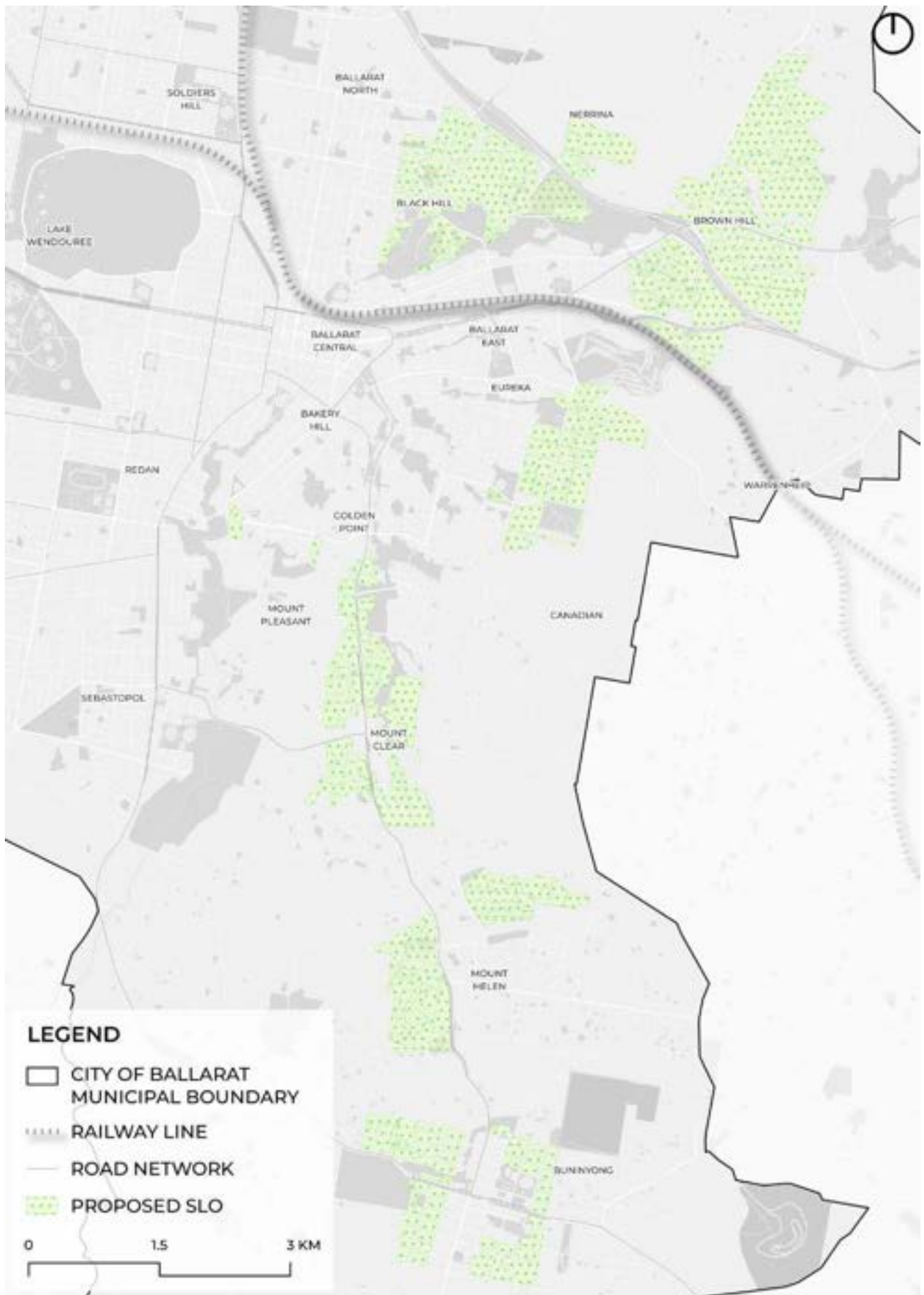
The map below identifies the proposed Significant Landscape Overlay (SLO) for Character Areas within the City of Ballarat. The SLO is proposed for heavily vegetated Character Areas that are not currently covered by an existing SLO. This includes Bush Residential 1 and Bush Residential 2 character areas. Some of these areas are already covered by an SLO or VPO but there are a number of areas that may warrant further protection.

The SLO will require a permit for the removal of indigenous and native vegetation and trees. The SLO will also reflect the minimum site coverage and permeability requirements to the Zone schedule.

To ensure consistency, the existing SLO which currently applies to certain areas may also need to be amended.



Proposed SLO Map



9.5 Recommendations

Reflect the findings of the NCS and Housing Strategy in a Residential Development Framework

In order to balance the objectives and outputs of the Neighbourhood Character Study, Housing Strategy and any other relevant Heritage, environmental, landscape and land capability study, Planning Practice Note 90 recognises the importance of creating a Residential Development Framework (RDF).

A Residential Development Framework provides:

- a coherent strategic vision containing a plan, or plans, that balances competing objectives by prioritising preferred development outcomes for different areas.
- Specifically, an RDF will identify the appropriate application of zones across the study area based on the outcomes of the NCS and Housing Strategy to prioritise the preferred development outcomes for different areas.
- Ultimately, the Neighbourhood Character Study, Housing Strategy and Residential Development Framework would enable Ballarat to meet future housing growth and demographic trends, while still ensuring new development reflects preferred character across the township.

Design and Development Overlays

It is recommended that the City of Ballarat conduct a review and assessment of all relevant DDO's that apply across the City of Ballarat. This would be to ensure there are no duplications or conflicts between controls across proposed zone schedules and existing DDO's.

Where possible and relevant, the City of Ballarat should remove objectives and controls within existing DDO's schedules that would be more appropriately reflected in relevant zone schedules.

For existing DDO's that have been implemented for specific areas based on a targeted strategic plan, it is considered appropriate to retain the existing planning controls.



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