

**Development Plan Overlay, Schedule 9
Former Ballarat Orphanage, 200, 200A, 200B Victoria Street, Ballarat**

Schedule of Endorsed Documents

- Appendix 1. Planning Report
- Appendix 2. Concept Plan
- Appendix 3. Urban Design Master Plan
- Appendix 4. Development Sequencing Plan
- Appendix 5. Heritage and Site Interpretation Plan
- Appendix 6. Open Space Plans
- Appendix 7. Movement Network Plan
- Appendix 8. Flood Investigation, Stormwater Management Plan and TGM Letter

Future Requirements for Planning Permits

- Future planning permits will need to ensure that the residential subdivision puts in place building envelopes to address the requirements of future development fronting Stawell Street, including site setbacks and height controls.
- Future planning permits for the former School House will also need to ensure that the original internal integrity of the building is maintained in any future use. The reuse of the School House building must include the retention of original internal and external elements to the satisfaction of the responsible authority. Whether incorporated into a larger development form or stand alone, the former School House building should read as an architecturally separate built form element from any new development, which must be achieved through a combination of setbacks and finishes and materials of the new built form.
- Individual planning permits will be required to submit proposed text of the individual signage to allow Council officers to meet with former residents in relation to the signage and to obtain where possible, agreement with the content.
- Additional opportunities to utilise items removed from the site and held at CAFS within the remaining structures is to be explored at future planning permit stages and will depend on the use of the land to ensure any items are accessible to the public for viewing.
- Future Planning permits will need to identify streets to be named after prominent people or families associated with the former Ballarat Orphanage or other aspects of the sites heritage. Such names need to be submitted at the lodgement of the application to ensure that Council officers are able to informally consult and liaise with Geographical place names officer and former residents.
- Final details of the play space will be required to be addressed at the subdivision stage.
- Subsequent permits will be required to submit arborist reports to ensure existing vegetation is protected during development.
- Future planning permits for the commercial area will need to demonstrate loading arrangements that will not conflict with sensitive uses. The submission of an acoustic report demonstrating how this interface will be protected will be required to be submitted and recommendations implemented.
- The commercial permits will also require truck movement detail to ensure that trucks are accessing the site through the Victoria Street access point and not utilised the Stawell Street access point.
- Details of the footpaths on both sides of the road and requirements for a footpath link along the reserve will be required at subdivision stage.

Appendix 1

SCHEDULE 9 RESPONSE TO THE DEVELOPMENT PLAN OVERLAY

FORMER BALLARAT ORPHANAGE



200, 200A & 200B VICTORIA STREET,

BALLARAT EAST



Planning and Environment Act 1987
BALLARAT PLANNING SCHEME
DEVELOPMENT PLAN OVERLAY

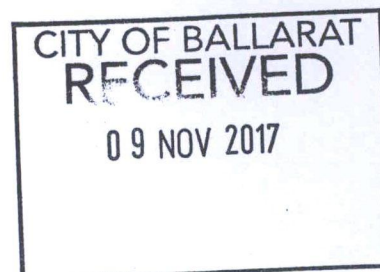
AUGUST, 2017

Development Plan Schedule No. 9.....

Signed Deanne Wilson.....

Authorised Officer for and on behalf of the
CITY OF BALLARAT

DATE 6/12/17.....



Prepared for: Victoria Street Developments Pty Ltd

Prepared by: TGM Group Pty Ltd

Quality Information

Document:	Development Plan
Reference No.	15324-01
Date	August 2017
Revision No.	1
Prepared by	Chris Marshall
Reviewed by	Andrew Harman

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Development Plan Schedule No. 15324-01
Signed.....
Authorised Officer for and on behalf of the
CITY OF BALLARAT
DATE.....

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1. Introduction

The following Development Plan has been prepared in response to Schedule 9 to the Development Plan Overlay of the Ballarat Planning Scheme for land at 200, 200A, 200B Victoria Street, Ballarat East.

The Development Plan provides the following plans and reports that validates the overall subdivision design concept and demonstrates the develop ability of the land:

- An Urban Design Masterplan
- Development Sequencing Plan
- Heritage and Site Interpretation Plan
- Open Space Plan
- Movement Network Plan
- Flood Investigation
- A Drainage Report

The urban design masterplan has been drafted having regard to the sites heritage values, the broader residential context, existing constraints and the zones that have been introduced to encourage future commercial, community and residential uses.

The Development Plan will guide the future use and development of the site to ensure that the heritage and social values are appropriately acknowledged whilst allowing the transformation of the site to reflect the intended contemporary uses.

The Development Plan includes a concept subdivision that illustrates an overall development and road network pattern that will lead to the establishment of a logical and orderly planning and development outcome consistent with the overall vision of the site.

2. Background

In 2014 the City of Ballarat proposed Planning Scheme Amendment C164 for the rezoning of the former Ballarat Orphanage site at 200, 200A and 200B Victoria Street, Ballarat East.

The Amendment sought approval (in summary) for the introduction of the part General Residential 1 Zone, part Mixed Use zone and part Commercial 1 Zone over the land. The Amendment also sought to apply Heritage Overlay HO196, Schedule 9 to the Development Plan Overlay and an Environmental Audit Overlay to the entire site.

The Amendment sought to provide for the future subdivision, commercial and mixed use development as indicated in Attachment 1 Clause 5.0 Concept Plan of Schedule 9.

Schedule 9 includes a number of requirements to guide the development of the site whilst strengthening and acknowledging the historical attributes of the site which have substantially fallen into disrepair.

The Amendment was gazetted on 28 May 2015.

3. Schedule 9 to the Development Plan Overlay

Requirements for development plan

A development plan must be prepared to the satisfaction of the responsible authority. Only one development plan may be approved for the entire area covered by this Schedule. The development plan must be generally in accordance with the plan in Section 5.0 of this Schedule and include:

An Urban Design Master Plan that includes:

An analysis of the site and surrounding land uses and development in the area, including topography, existing features, title boundaries, services, views into and out of the site, built features, landscape features, open space, adjoining roads, bike paths, pedestrian access and public transport routes.

The location and a description of all proposed land uses including but not restricted to roads, public open space, drainage reserves and other authority reserves.

An integrated commercial and residential development offering a choice and diversity of housing opportunities and types in a neighbourhood setting that has been master planned to provide an attractive urban design outcome.

Development that is generally limited to two storeys but provides opportunities for higher density development that is well located around public open space.

Higher density development which achieves an appropriate transition to lower density development on the site and in neighbouring areas.

Development to front and address Victoria Street and Stawell Street excluding the area of the Stawell St wall.

Development fronting Stawell Street that is no more than two storeys and achieves a detached development pattern with generous side setbacks and landscaped front setbacks and height, responding to the general development form of the street.

Development within the area designated for 'Commercial Use' on the plan in Section 5.0 of this Schedule that retains the entirety of the Former Ballarat Orphanage School House and ensures that the original internal integrity of the building is maintained in any future use. The reuse of the School House building must include the retention of original internal and external elements to the satisfaction of the responsible authority. Whether incorporated into a larger development form or stand alone, the former School House building should read as an architecturally separate built form element from any new development, which must be achieved through a combination of setbacks and finishes and materials of the new built form.

Development within the area designated for 'Commercial Use' on the plan in Section 5.0 of this Schedule that presents a façade to Victoria Street which:

- provides activated frontages with windows and entrances as the predominant element of the Victoria Street façade;*
- is not dominated by car parking; and is set back the same distance from the Victoria Street property boundary as the front setback of the Toddler's Block building.*

A pedestrian connection linking the frontages of the building/s in the Commercial Use area with the Toddlers Block which prioritises pedestrian movement over vehicular movement. Retention of the entirety of the Stawell Street Wall on the western boundary of the site.

Response: The response to this clause is addressed in Attachment 2 Urban Design Masterplan.

The Site Analysis Plan provides a surveyed analysis of the site and surrounding land uses including surrounding roads, landscaping, public transport and pedestrian links and also provides photographs of the site from prime viewing points along Victoria and Stawell Streets and from key vantage points with the site.

The Urban Design Masterplan provides an overall future blueprint of the use and development of the site including the location and description of land uses, integration of these uses via future and current road and pedestrian connections, appropriate low impact transition to adjoining and adjacent residential developments, landscaped setbacks and retention of the entirety of the Stawell Street Wall.

A Development Sequencing Plan that includes:

- *The stages (if any) in which the land is to be subdivided and developed. The responsible authority must be satisfied that staged development will not prejudice the ability for the future use or development of the balance of the land to achieve the overall Development Plan requirements.*
- *The staging and provision of infrastructure and other key facilities.*

Response: The response to this clause is addressed in Attachment 3 Development Sequencing Plan.

The Development Sequencing Plan shows two indicative stages only. This is as a result of having an Environmental Audit Overlay over the site and the intended uses. Stage 1 proposes to construct a supermarket which incorporates the use of the existing school building. As this proposed use does not rely on the removal of the Environmental Audit Overlay it is likely that this use can be established initially prior to the introduction of sensitive uses which will require the removal of the overlay.

A Heritage and Site Interpretation Plan that includes:

- *The delivery of interpretive public art and interpretive landscape design on site (this will include, where appropriate, the activation of blank walls on new commercial buildings with interpretive public art).*
- *Identification of publicly accessible areas or locations within the site, not limited to but including the front memorial garden, where the history of the site can be marked and interpreted using a range of mediums, which is publically accessible, and which can serve as a place of reflection and sanctuary for those visiting the site, including former residents and others with a direct association with the Orphanage.*

- *Identification of interpretative mediums, including urban design, and interpretative content throughout the site.*
- *Elements from the site which are to be included as interpretative features (including those objects, items and/or artefacts listed on the register as to be retained and/or to be relocated on site) and which are to be placed in areas where the display is well lit, safe and accessible, to the satisfaction of the responsible authority.*
- *Identification of the Stolen Generation's interpretive display forming part of the Koorie Heritage*
- *Trail and the Ludbrook memorial seat, which are to remain on the site and be publically accessible.*
- *Identification of the streets to be named after prominent people or families associated with the former Ballarat Orphanage or other aspects of the site's heritage, in accordance with the Department of Planning and Community Developments Guidelines for Geographic Names, 2010 or any other relevant guideline published by the Department.*
- *Identification of responsibilities and roles for the implementation of the interpretation, and a timeframe for implementation.*
- *Provision for future maintenance, on-going evaluation, review and replacement as required.*
- *Details of how the history and heritage of the site will be communicated to the broader public such as on site interpretation supplemented by material accessible via an appropriate website, and/or support for supplementary interpretive publications such as books or brochures.*

The Heritage Site Interpretation Plan will:

- *Address the history of the former Ballarat Orphanage and detail how the architectural/aesthetic, historic and social values of the site will be appropriately acknowledged and interpreted.*
- *Be developed in consultation with Child and Family Services Ballarat (CAFS) (or other representative body/s as nominated by the responsible authority) to the satisfaction of the responsible authority.*

Response: The response to this clause is addressed in Attachment 4 Former Ballarat Orphanage Heritage and Site Interpretation Plan.

The Heritage and Site Interpretation Plan developed in consultation with CAFS details the recommended site locations for heritage signage and interpretation material to commemorate the importance of these sites. The Plan also recommends the interpretation sign type for each location having regard to the attributes of the location or historic features of each site. The Plan also identifies the two new roads that can be named after prominent families or people associated with the site. The implementation of the plan is proposed to be via the individual planning permits required for subdivision, use and development of each site and will be maintained by the landowners.

An Open Space Plan that includes:

A minimum of two public open space areas as follows:

- *A public open space area in the northeast area of the site to include an area around the Magnolia Tree and an area including the 2 x elm trees to the eastern side of the Toddlers Block. The public open space area on the eastern side of the Toddler's Block should incorporate a play space as defined in the guidelines listed below, with the precise layout and location to be determined in consultation with Child and Family Services Ballarat (CAFS) (or other representative body/s as nominated by the responsible authority) and the responsible authority.*
- *Public open space areas that have been developed in accordance with the 'Neighbourhood Recreation Parkland' category in Section 9.6 'Development Standards' of the Ballarat Open Space Strategy (2008).*

Public open space that has been provided and located so that:

- *It is accessible to future residents of the site and other nearby residents.*
- *It has a minimum of 50% of active residential and/or road frontages addressing its boundaries for adequate passive surveillance. Where possible additional open space boundaries should have active frontages (i.e. housing fronting the park or low or transparent fencing to increase the safety aspects of the space).*
- *Pathways are installed connecting all public spaces to existing road networks, footpaths, or off road linkages and pedestrian paths.*

Open space to be developed for drainage or stormwater detention purposes must be developed in accordance with the general provisions for open space irrespective of whether it is encumbered open space or not, and as a minimum include:

- *50% minimum active residential or road frontages.*
- *WSUD features as required.*
- *Maintenance and emergency vehicle access around all water bodies.*
- *Safe connecting paths linking through or around the open space and water bodies or features.*
- *Low maintenance plantings.*
- *Landscaping of the public open space must consider the heritage and cultural values of the overall site and the need for interpretation of those values within public open space areas, as referenced in the Site Interpretation Plan.*

Response: The response to this clause is addressed in Attachment 5 Open Space Plan.

There are three areas proposed that can be utilised as open space including two proposed reserves adjoining Victoria Street (including the magnolia tree site) and the area surrounding the stormwater detention basin along the southern boundary. All areas will be accessible by road and proposed pedestrian connections and will be subject to landscaping works.

A Movement Network Plan that includes:

- *A general street layout that achieves continual connectivity throughout the site, with all roads to be for through traffic. Court bowl, cul-de-sac, or other terminating roads should be avoided where practical.*
- *A street layout that includes access to the residential area from Stawell Street and a connecting roadway between the Victoria Street service road and the residential area, through utilising and acknowledging the former Ballarat Orphanage dairy laneway.*
- *The locations of car parking in the Commercial 1 Zone and the Mixed Use Zone.*
- *The loading arrangements for the Commercial 1 Zone and the Mixed Use Zone that will not conflict with sensitive uses.*
- *Vehicular access to the commercial uses should be predominately from the Victoria Street service road, with minimal truck movement to be accommodated through the Stawell Street access point.*
- *Direct dedicated pedestrian linkages between the site and public transport, including from the residential area to the bus stop located on Victoria Street.*
- *A footpath linkage that is as direct as possible between all public open space areas on the site.*
- *This linkage should connect through to Victoria Street and Stawell Street, including connecting to the Speciman Vale Creek Reserve.*
- *Internal roads that have footpaths along both sides of the road.*

Response: The response to this clause is addressed in Attachment 6 Movement Network Plan.

The Plan shows the proposed street network with connections to Victoria and Stawell Streets and also shows a proposed access road via Stawell Street that seeks to retain the historic wall and oak trees. In addition the Plan shows truck access to the Commercial area without need to access the residential area of Stawell Street. The Plan also illustrates pedestrian connections including connections between the Commercial and Mixed Use Zones.

A Flood Investigation that includes:

The subdivision layout including the location and general distribution of lots showing the natural surface elevation and proposed building parcels.

The subdivision must not create any new lots, which are entirely within the modelled 1% AEP flood extent at this location. This does not apply if:

- *the subdivision creates a lot, which by agreement between the owner and the Corangamite CMA is to be transferred to an authority for a public purpose; and / or by agreement with the Corangamite CMA and Council the, proposal includes works to cut and fill the site within the 1% AEP floodplain. An application to fill the floodplain must be supported by a detailed cut and fill plan that demonstrates no loss of floodplain storage, no increase in flood levels, velocities or extents to surrounding areas for up to and including the 1% AEP flood event. A proposal must be supported by an independent detailed hydrologic and hydraulic assessment of the site to the satisfaction of the Authority.*

A Flood Study/Hydraulic Analysis which is to be prepared by a suitably qualified and experienced engineer. The plans are to include the extent of flooding in a 1% AEP (1:100 year) flood event for pre-development and post-development conditions.

Detailed information pertaining to the pre-development flood prone nature of the site should be obtained by attaining a copy of the Canadian Creek Tributaries Flood Investigation 2014 from the responsible authority.

An investigation of the post-development conditions must be undertaken by a suitably qualified engineer and must employ best practice methods (to the satisfaction of the Corangamite Catchment Management Authority) for flood estimation. This review may be subject to an independent peer review at the cost of the applicant.

A suitably sized waterway corridor along Specimen Vale Creek to the satisfaction of the Corangamite CMA and Council:

- *The design of the corridor must take into consideration State Planning Policy Framework clause 14.02-1 – Catchment Planning and Management.*

A Flood Risk Report that must consider the following:

- *The State Planning Policy Framework and the Local Planning Policy Framework.*
- *The existing use and proposed development of the land.*
- *Whether the proposed use or development could be located on flood-free land or land with a lesser flood hazard outside the identified flood extent.*
- *The susceptibility of the development to flooding and flood damage.*
- *The potential flood risk to life, health and safety associated with the development.*

Flood risk factors to consider include:

- *The frequency, duration, extent, depth and velocity of flooding of the site and access way.*
- *The flood warning time available.*
- *The danger to the occupants of the development, other floodplain residents and emergency personnel if the site or access way is flooded.*

The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities. No loss of floodplain storage will be permitted as part of any development.

The effects of the development on river health values including wetlands, natural habitat, stream stability, erosion, environmental flows, water quality and sites of scientific significance.

A Drainage Report that:

- *Identifies waterways, major flood paths, drainage depressions and high hazard areas which have the greatest risk and frequency of being affected by stormwater and overland flooding.*

- *Provides for the collection, treatment and disposal of stormwater runoff that reflects best practice such as the provision of water detention basins and water quality treatment wetlands within the open space and bio-retention systems within the local street network.*
- *Ensures a design philosophy of 'zero adverse impacts' to surrounding areas for up to and including the 1% AEP flood event.*
- *Details short and long term maintenance requirements and responsibilities for the wetlands, detention basins and aesthetic lakes; Identifies any other elements or issues to assist long-term management of these systems.*
- *Provides for the design of overflow paths for a 1 in 100 year flood event.*
- *Identifies measures to improve stormwater quality before it is discharged downstream, including details of design to ensure that floating debris is removed, such as the installation of litter and gross pollutant traps to the satisfaction of the responsible authority.*
- *Details of the construction procedures and practices to ensure there is no unreasonable off-site impact to stormwater quality during the construction phase.*
- *The measures to be undertaken for the management and control of erosion and silt discharged beyond the site during the construction phase of the development.*
- *Construction techniques that incorporate the provisions within the Guidelines for Environmental Management – Doing it right on Subdivisions (EPA Publication 960).*

Response: The response to this clause is addressed in Attachment 7 Flood Investigation Report and Preliminary Stormwater Management Plan by Water Technology.

The Flood Investigation Report was designed to manage 1% AEP across the subject site and demonstrates that the concept design results in no adverse impacts in the 1%AEP event. The Preliminary Stormwater Management Plan provides options to manage stormwater flows through the site utilising best practise WSUD features. The reports have been revised by TGM's Civil Engineers and have assessed that whilst the revised Development Plan layout is not identical (than that originally proposed) the reports are considered to be relevant to the revised concept.

Appendix 2







5.0

28/05/2015
C164

Concept Plan



KEY

-  PUBLIC OPEN SPACE
-  MIXED USE
-  COMMERCIAL USE
-  WATER RETARDATION
-  HERITAGE SITE
-  INDICATIVE ENTRANCE
-  PEDESTRIAN LINK
-  STAWELL ST WALL
-  DAIRY LANE
-  SITE BOUNDARY

* REMAINDER OF SITE RESIDENTIAL

Planning and Environment Act 1987
 BALLARAT PLANNING SCHEME
 DEVELOPMENT PLAN OVERLAY
 Development Plan Schedule No. 9
 Signed: Deanne Huban
 Authorised Officer for and on behalf of the
 CITY OF BALLARAT
 DATE: 10/12/15



FORMER ORPHANAGE SITE
CONCEPT DEVELOPMENT PLAN

SCALE:
1:500 @ A3



Appendix 3



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



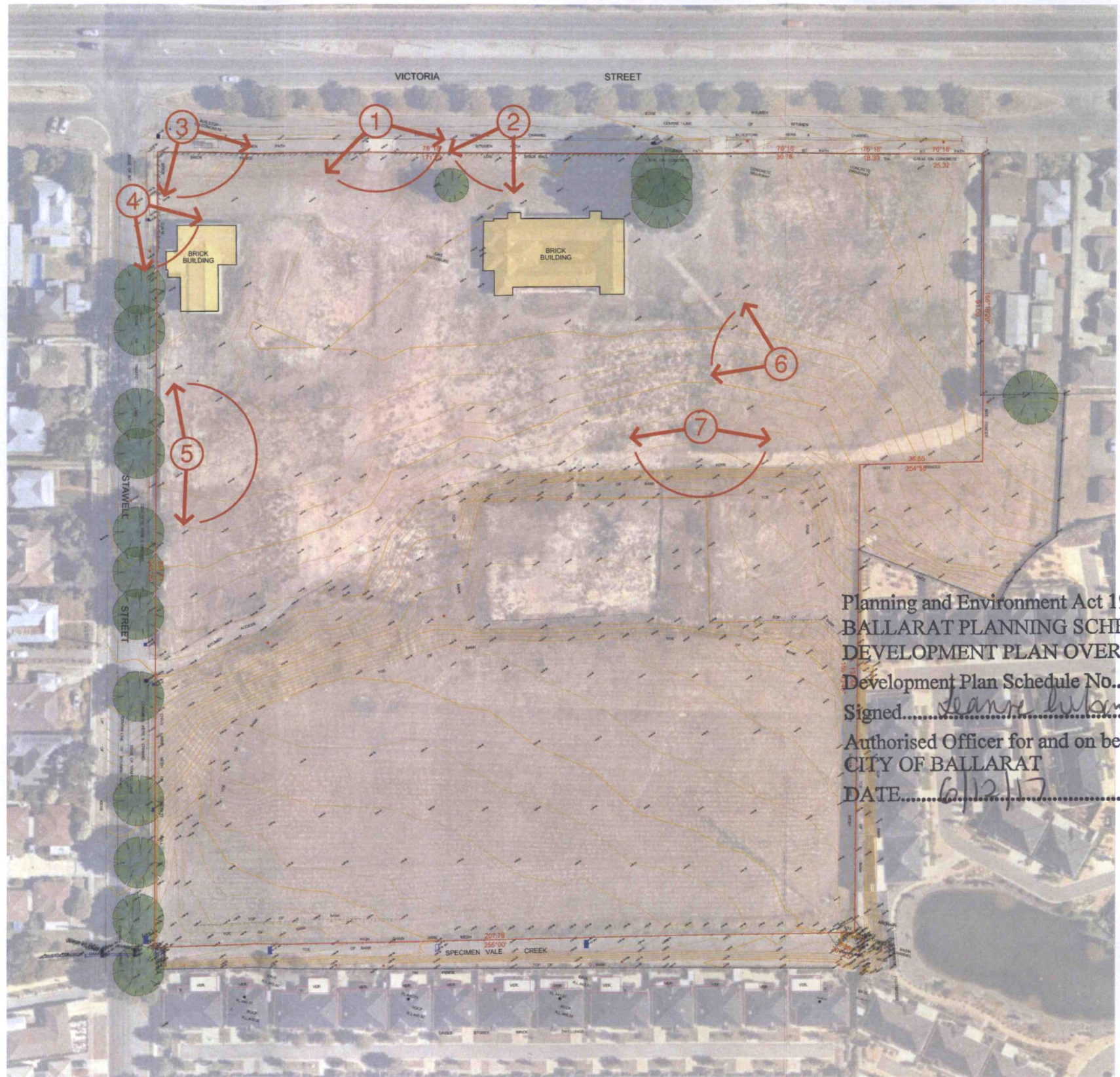
PHOTO 5



PHOTO 6



PHOTO 7



Planning and Environment Act 1987
 BALLARAT PLANNING SCHEME
 DEVELOPMENT PLAN OVERLAY
 Development Plan Schedule No. 9
 Signed: *Seamus Wilson*
 Authorised Officer for and on behalf of the
 CITY OF BALLARAT
 DATE: 6/12/17

Rev.	Revision	Date
-	-	-

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


SITE ANALYSIS		Job Number: 15324-00	Date of Issue: 04/07/2017
FORMER BALLARAT ORPHANAGE		Sheet: 1 of 1	
200, 200A, 200B VICTORIA STREET		Date of Survey: N/A	
BALLARAT		LENGTHS ARE IN METRES	
		NOT TO SCALE	
Survey: -	Drawn: -	Checked: -	
		At Size A0	
		DWG: 15324-00-FEATURES REV: 1	







DEVELOPMENT PLAN

FORMER BALLARAT ORPHANAGE
200, 200A, 200B VICTORIA STREET
BALLARAT EAST



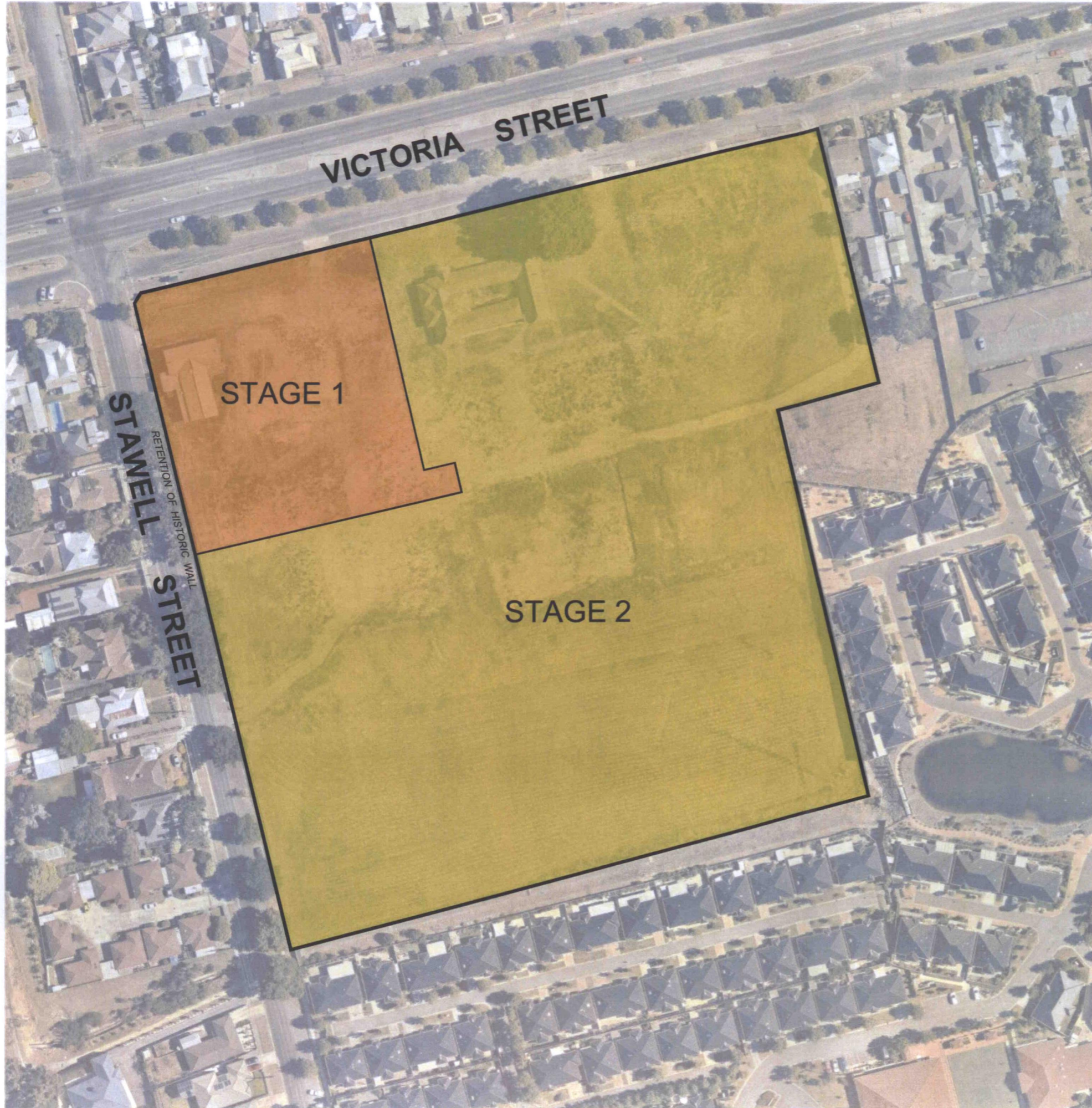
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Signed: *Deanne Wilson*
Authorised Officer for and on behalf of the
CITY OF BALLARAT
DATE: 6/12/17

-  OPEN SPACE
-  ENCUMBERED OPEN SPACE / DETENTION BASIN
-  COMMERCIAL USE / RETENTION OF FORMER BALLARAT SCHOOL HOUSE
-  MIXED USE / RETENTION OF TODDLERS BLOCK
-  RESIDENTIAL USE
-  - CONVENTIONAL
-  - MEDIUM
-  - HIGH

-  BUILDING ENVELOPE
-  DEVELOPMENT LIMITED TO TWO STOREY INTEGRATION & ACCESS OPPORTUNITIES
-  HIGH DENSITY ADJACENT TO OPEN SPACE
-  VICTORIA STREET BUILDING SETBACK
-  PEDESTRIAN LINKAGE BETWEEN COMMERCIAL AREA & TODDLER BLOCK
-  POTENTIAL HERITAGE INTERPRETATION SITE



Appendix 4



STAGING PLAN

FORMER BALLARAT ORPHANAGE
 200, 200A, 200B VICTORIA STREET
 BALLARAT EAST



- STAGE 1 - Proposed Supermarket Site
- STAGE 2 - Scheduling of Development Subject to Removal of Environmental Audit Overlay

Planning and Environment Act 1987
 BALLARAT PLANNING SCHEME
 DEVELOPMENT PLAN OVERLAY
 Development Plan Schedule No. 9
 Signed Deanne Kubica
 Authorised Officer for and on behalf of the
 CITY OF BALLARAT
 DATE 0/12/17

REF: 15324-00
 DATE: 03/08/2017

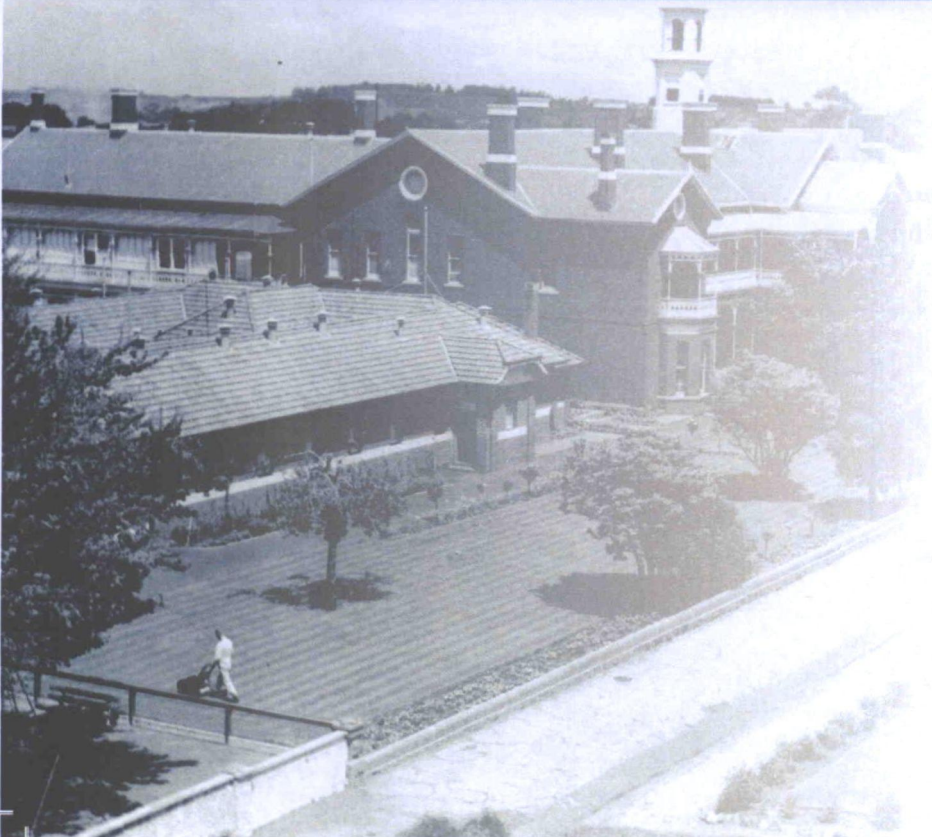


Appendix 5

Former Ballarat Orphanage

200 Victoria Street, Ballarat

HERITAGE AND SITE INTERPRETATION PLAN

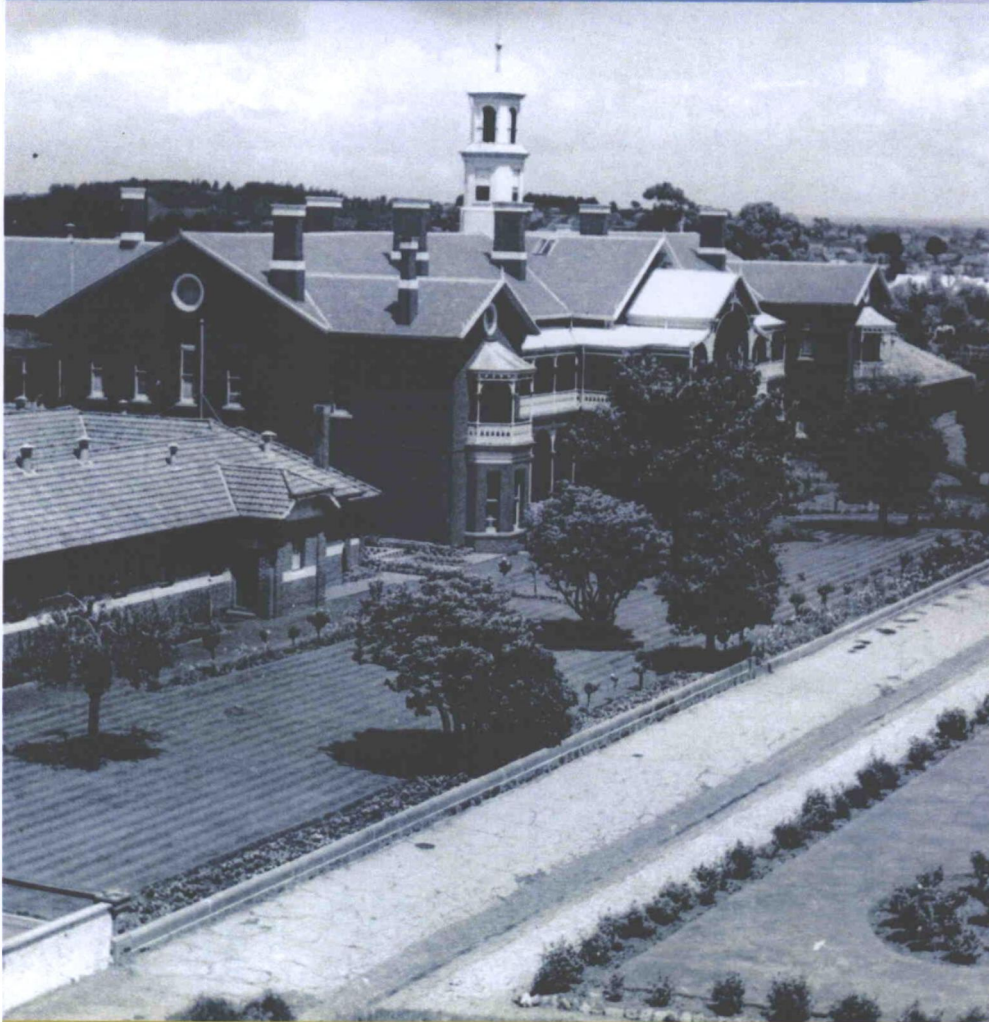


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BALLARAT PLANNING SCHEME
DEVELOPMENT PLAN OVERLAY
Development Plan Schedule No. 9
Signed: Deanne Bushan
Authorised Officer for and on behalf of the
CITY OF BALLARAT
DATE: 6/12/17

JULY 2017

Former Ballarat Orphanage

Introduction



The former Ballarat Orphanage was established in 1865 and has been associated with Child Welfare in Ballarat for more than 150 years. This included the social upheaval of the Gold Rush period which resulted in a large number of orphaned or destitute children in need of welfare.

Despite the demolition of most buildings the site is of local historical significance and retains the Toddlers Block and Orphanage School building as well as the historic wall along Stawell Street and Magnolia Terrace a site for quiet contemplation.

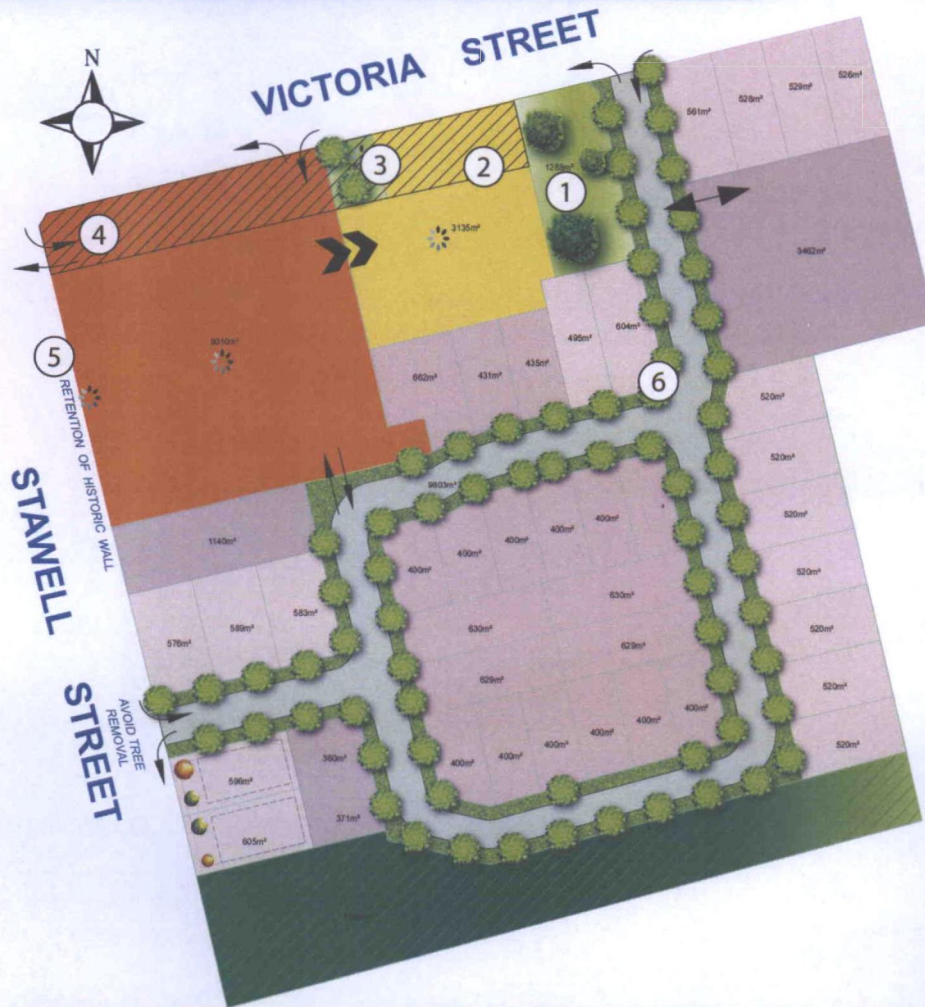
The land has been recently rezoned to allow future residential and commercial development and the retention and acknowledgement of the historical significance of the site. The planning scheme amendment also introduced Schedule 9 to the Development Plan over the land to guide the future development and acknowledge the site history.

The objective of this Schedule is to ensure that the re-development of the former Ballarat Orphanage is undertaken in a manner, layout and integrity that is consistent with the character of the area and the architectural / aesthetic, historic and social values associated with the site.

To assist in achieving this goal a Heritage and Site Interpretation Plan is required to provide a snapshot of the rich history of this site. The following Heritage and Site Interpretation Plan has also been developed in consultation with Child and Family Services Ballarat (CAFs) to establish an overall strategy to ensure the ongoing acknowledgement and recognition of this special historical site.

Former Ballarat Orphanage

Heritage and Site Interpretation Plan



PROPOSED SIGNAGE LOCATIONS

1. Proposed open space reserve;
2. Historic Toddlers block building;
3. Ludbrooks Seat and Magnolia Tree reserve;
4. Historic School Building;
5. Stawell Street Historic Wall;
6. Dairy Lane.



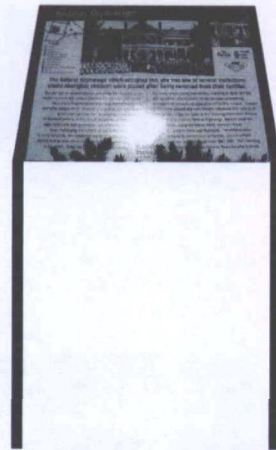
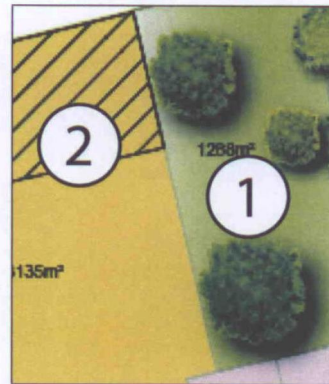
Children in the library room before a film

Former Ballarat Orphanage

Recommendations - Site 1.



Primary Sign



E Stolen Generation Sign - 800mm x 60mm (h)
Sign size still need to be confirmed

SITE 1. – OPEN SPACE RESERVE

Sign Type:

- A** Freestanding Primary sign
- E** Stolen Generation sign

Proposed Signage Concepts:

Freestanding Primary sign with pictures depicting the site in its entirety and some historical dates and people.

Recommended Contents:

Location map will also provide guidance regarding the location of each sign and orientation around the site.

This information will include:

- Photo or photos reflecting the history of the Orphanage
- Historic text and key accounts and recollections of the site
- Orientation map.

Stolen Generation Sign:

Pedestal Sign - Stolen Generation at CAFS which is manufactured as per other pedestal signs dotted around Ballarat.

Former Ballarat Orphanage

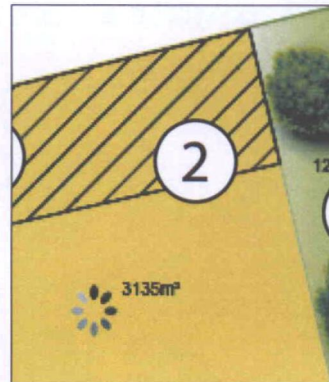
Recommendations - Site 2.



Wall Sign - horizontal to match in with Primary Sign



Free Standing Pedestal Sign - rolled with side panel



SITE 2. – HISTORIC TODDLERS BLOCK BUILDING

Sign Type:

(B) (C) Wall Mounted Sign

or

(E) Freestanding Sign

Recommended contents:

This sign is proposed to provide information about the Toddlers Block.

This information will include:

- Photo or photos reflecting the use of the site
- Historic text and key accounts and recollections of the site.



Toddlers dining room



Children playing outside

Former Ballarat Orphanage

Recommendations - Site 3.



Free Standing Pedestal Sign - horizontal to match in with Primary Sign



SITE 3. – MAGNOLIA TREE – LUDBROOK MEMORIAL SEAT

The front memorial garden (including the Magnolia tree) is recognised as a place of commemoration, celebration and contemplation.

Sign Type:

- ⓓ Low level on ground sign

Recommended contents:

This sign is proposed to provide information regarding the importance of this site.

This information will include:

- Written text regarding the Herbert and Daisy Ludbrook and the significance of the site and memorial seat to be erected.
- Historic photos of the site.



Children playing on the swings



Children with Santa



Former Ballarat Orphanage

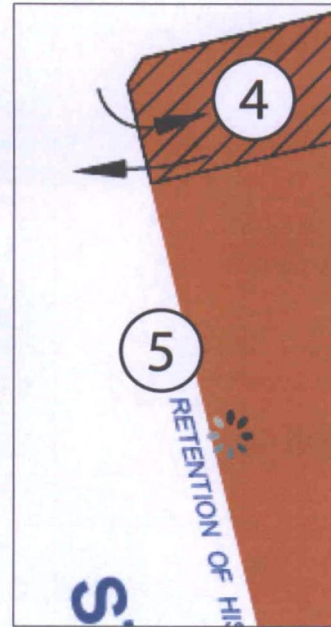
Recommendations - Site 4. Historic School Site



Wall Sign - horizontal to match in with Primary Sign



Free Standing Pedestal Sign - rolled with side panel



SITE 4. – SCHOOL BUILDING

Sign Type:

- (B) (C) Optional Free standing or mounted on wall sign, potential mural site on supermarket wall.
- (E)

Recommended contents:

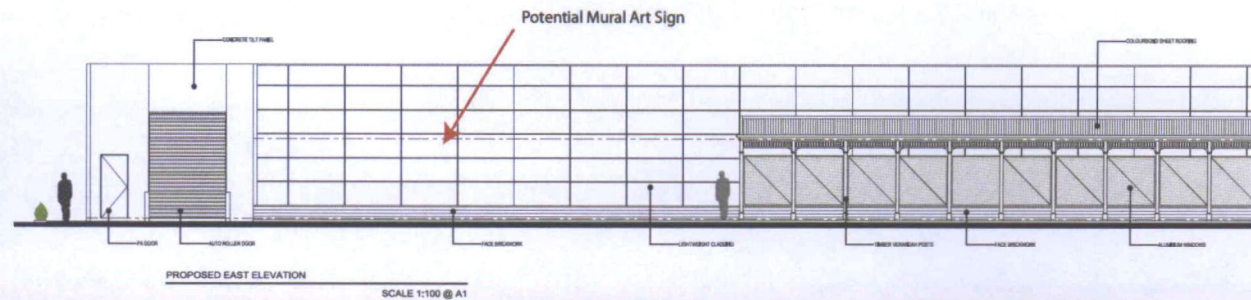
This sign is proposed to provide information regarding the significance of the school building.

This information will include:

- Written text regarding the significance of the building and any written accounts from students
- Historic photos of the site.

Other interpretation options

The school building is proposed to be incorporated in a supermarket development. The eastern wall as indicated below provides an additional opportunity to provide an interpretation display.



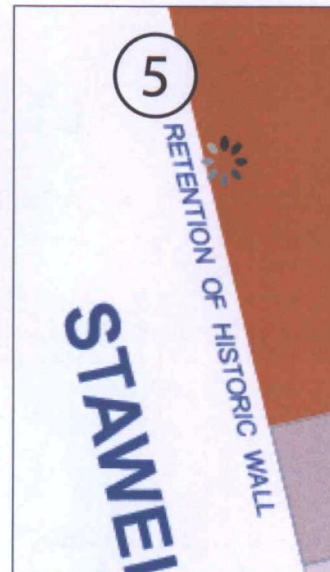
PROPOSED EAST ELEVATION
SCALE 1:100 @ A1

Former Ballarat Orphanage

Recommendations - Site 5.



Wall Sign - horizontal to match in with Primary Sign



SITE 5. – HISTORIC WALL ON STAWELL ST ONLY

Sign Type:

(B) Wall sign

Recommended contents:

The sign will provide text about the significance of the wall to the orphans.

This information will include:

- Written text on the wall regarding the significance of farming on-site
- Historic photos of the dairy site.

